

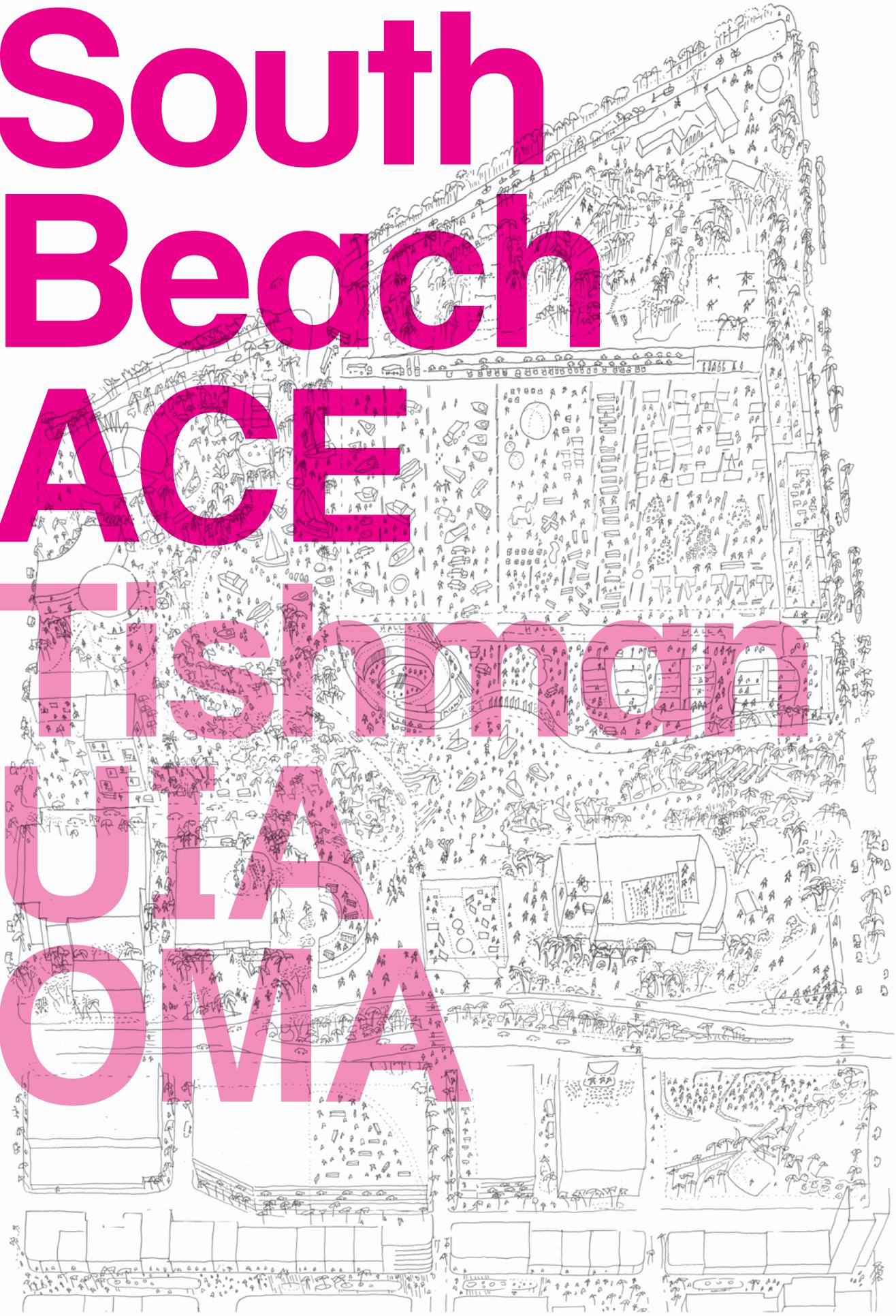
South Beach

ACE

FISHMONGER

ULTRA

OWNA



Contents

Introduction	7
Masterplan	23
Convention Center & Hotel	61
Impact	127
Landscape	149
Landscape Materials	173
Traffic	189
Structure	207
Sustainability	215
Day in the Life	221

Introduction



Sitting on 52 acres within the vibrant and unique community that is Miami Beach, an outdated convention center acts as an urban blockade – inactive when conventions are not in town, disruptive to adjoining neighborhoods and inhibiting connections to Lincoln Road and surrounding communities.

Our master plan resolves each of these issues through a series of ingenious yet simple moves:

— We conceptually rotate the convention center, reorienting the site to allow for east-west neighborhood connectivity and a southerly orientation for both convention center and hotel guests.

— We concentrate the density at the center of the site and make the revamped convention center and its meeting and ballroom space contiguous with the hotel – a feature that meeting planners love.

— We reimagine the area’s existing assets: the Jackie Gleason Theater, the Carl Fisher Clubhouse, City Hall, the 17th Street Garage and 17th Street itself are all maintained and transformed to better engage their surroundings while keeping the character of Miami Beach.

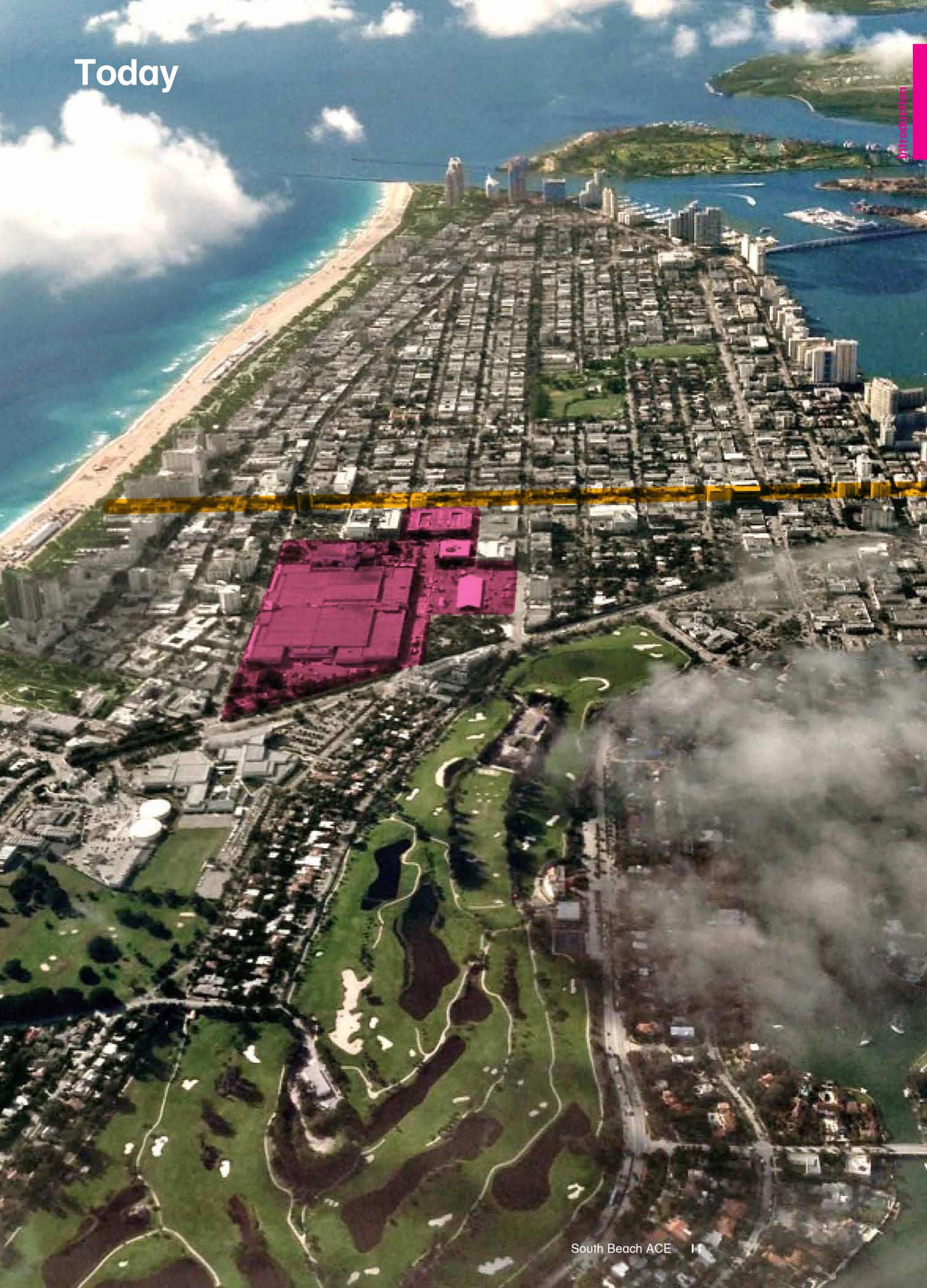
— We fill the rest of the site with public amenities and programmed uses appropriate to activate the space 7 days a week, 365 days a year.

In short, our plan upgrades the convention center into a best-in-class facility and weaves the entire convention center site into the fabric of Miami Beach. It will feel both new and like it was always there.

1935



Today



Introduction





1935
Golf Course



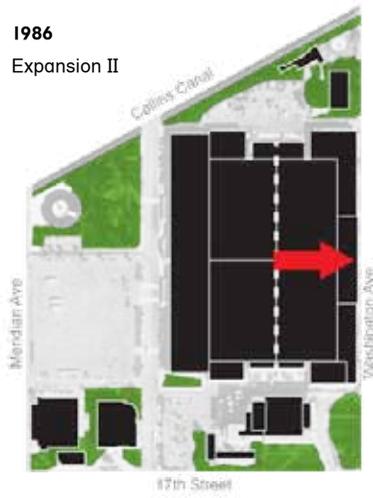
1957
Built



1968
Expansion I



1986
Expansion II



2013
SouthBeach
ACE



Typically, as convention centers evolve their footprints expand. In Miami Beach — an island where every acre is precious and the only “periphery” is ocean — the convention center has claimed an entire precinct for asphalt. Since its initial construction in the 1950’s, the Miami Beach Convention Center has expanded twice, each time claiming more open space from the city and looming closer to its neighbors.

As the Convention Center looks to grow once again, is it possible to escape the inevitable sacrifice of the city around it? Today Miami Beach has an opportunity to undo 50 years of mistakes and reconnect neighborhoods severed by the elephant in their midst.

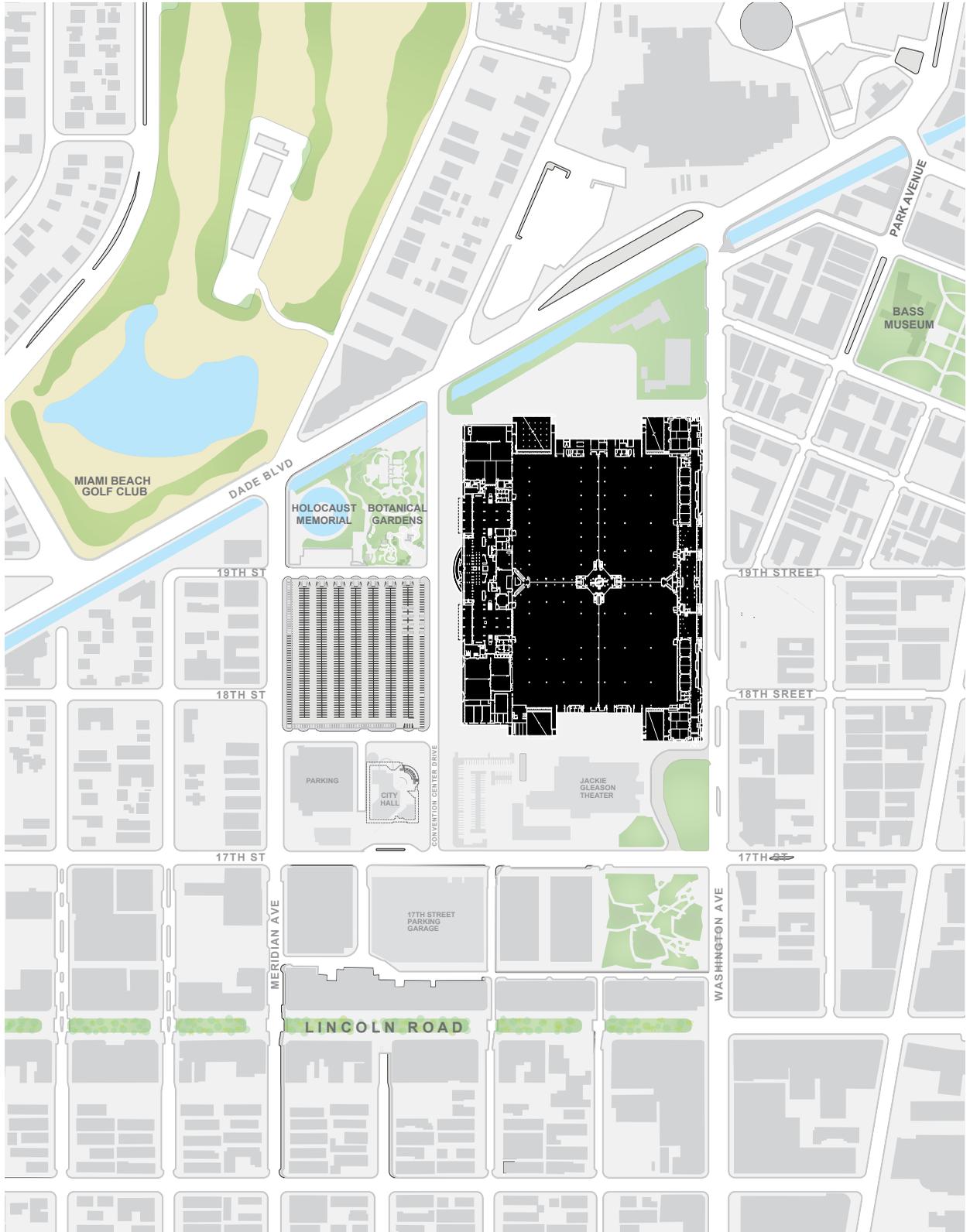
It’s time for a different model for growing a Convention Center...

Today





Site



Surrounded by a series of civic, cultural and natural assets, the site is currently dominated by the scale and dispersed operations of the Miami Beach Convention Center (MBCC). While it began as a compact

neighbor of the Miami Beach Auditorium, the MBCC has expanded to become an unwieldy obstacle. With loading—either service or visitor—on all four sides, its impact is even greater than its footprint implies.



Community Feedback

A masterplan of the scale of the MBCC has the potential to transform the heart of Miami Beach, but it will only be successful if it responds the needs of the surrounding community. At the outset of the masterplan process our team gathered local stakeholders and neighborhood associations for a series of listening sessions to understand what they thought were the greatest opportunities and the greatest risks. That feedback has guided our work from the outset and inspired us to develop a masterplan that enhances and extends the area's existing assets while finding surprising ways to integrate the Convention Center back into the city.



“Botanical Gardens are a unique asset to the Convention Center.”

“Improve traffic at 17th and Meridian.”

“Create outdoor space for SoBe market.”

“Preserve natural sunlight to surrounding neighborhoods.”

“Limit construction-related traffic through neighborhoods.”

“Outdoor spaces and cafes at the Convention Center.”

“No hotel next to Palm View.”

“Sustainable systems to preserve and generate energy.”

“Preserve the cultural identity and intellectual diversity of the Gleason and its performances.”

“Improve the roofscape for better views.”

“Jackie Gleason is part of Miami Beach history.”

“Create pedestrian-friendly green zones and bike paths.”

“Make Meridian Ave a nice place to walk.”

“Improve traffic on both a local and urban scale to connect back to Miami.”

“Green roof on the CC.”

“Make the Convention Center pedestrian friendly.”

“All of Florida is a beach.”

“Outdoor spaces and cafes at the Convention Center.”

“Animate the Convention Center roof with program.”

“Fillmore could be used as an assembly hall for the Convention Center.”

“Local art space for local artists.”

“Create urban walkways.”

“Provide sufficient parking.”

“Extend Collins Canal into Collins Park.”

“The Fillmore can go.”

“Hide the buses and trucks.”

“Create outdoor space for SoBe market.”

“Water collection, purification, and reuse systems.”

“Convention drop off blocks traffic at 19th street.”

“Multi-story parking garage for easy access to Collins Ave.”

“Slower traffic through Collins Park.”

“Iconic, modern, world class facility.”

“Attract high-class events to boost local economy and tourism.”

“Outdoor amphitheater.”

“Use solar energy.”

“Building heights sensitive to context and views.”

“Development should respect existing Lincoln Road retail.”

“New World Symphony should be included in the scope of the project.”

“Diversify housing typologies in Collins Park.”

“Improve the appearance of the new Collins Canal Sea Wall.”

“The Jackie Gleason is a monument.”

“Protect Soundscape Park Wallcasts from light and noise.”

Problem

75' WIDE STREET
NOT PEDESTRIAN
FRIENDLY

ISOLATED COLLINS CANAL
Parking Lot

TRAFFIC CONGESTION ZONE

ISOLATED BOTANICAL GARDENS

LOADING

WEST CONCOURSE

IMPACT ON ALL SIDES

EAST CONCOURSE

NO ACTIVITY
ALONG STREET

SURFACE PARKING LOT

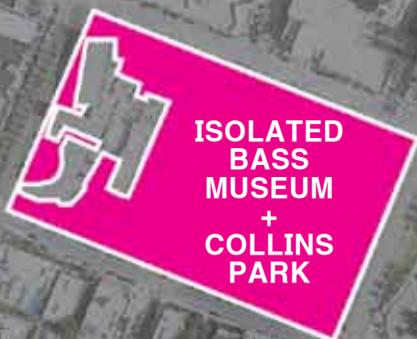
LOADING

TRAFFIC CONGESTION ZONE

LOADING +
SURFACE PARKING LOT

DISCONNECTED FROM LINCOLN ROAD RETAIL

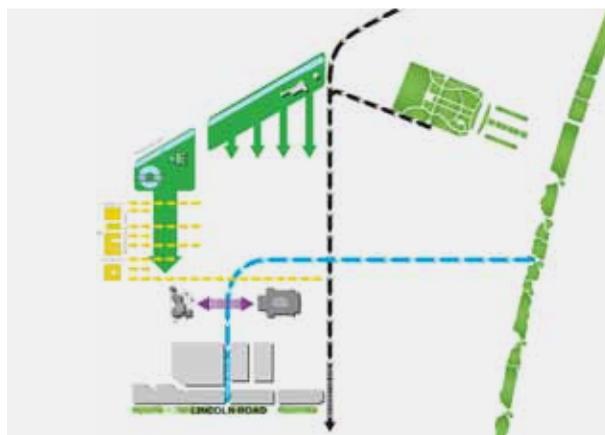
While the Miami Beach Convention Center (MBCC) is a great cultural and economic asset for Miami Beach, it is a physical blockade within the city. Here beach stops and asphalt begins, with a series of open parking lots, relentless closed facades and a disconnected urban fabric. The current MBCC not only disrupts its immediate environs and the neighborhoods that surround it, it severs Miami Beach's two great assets: the natural beauty of the beach and the urban dynamic of Lincoln Road.



Asphalt v. Beach

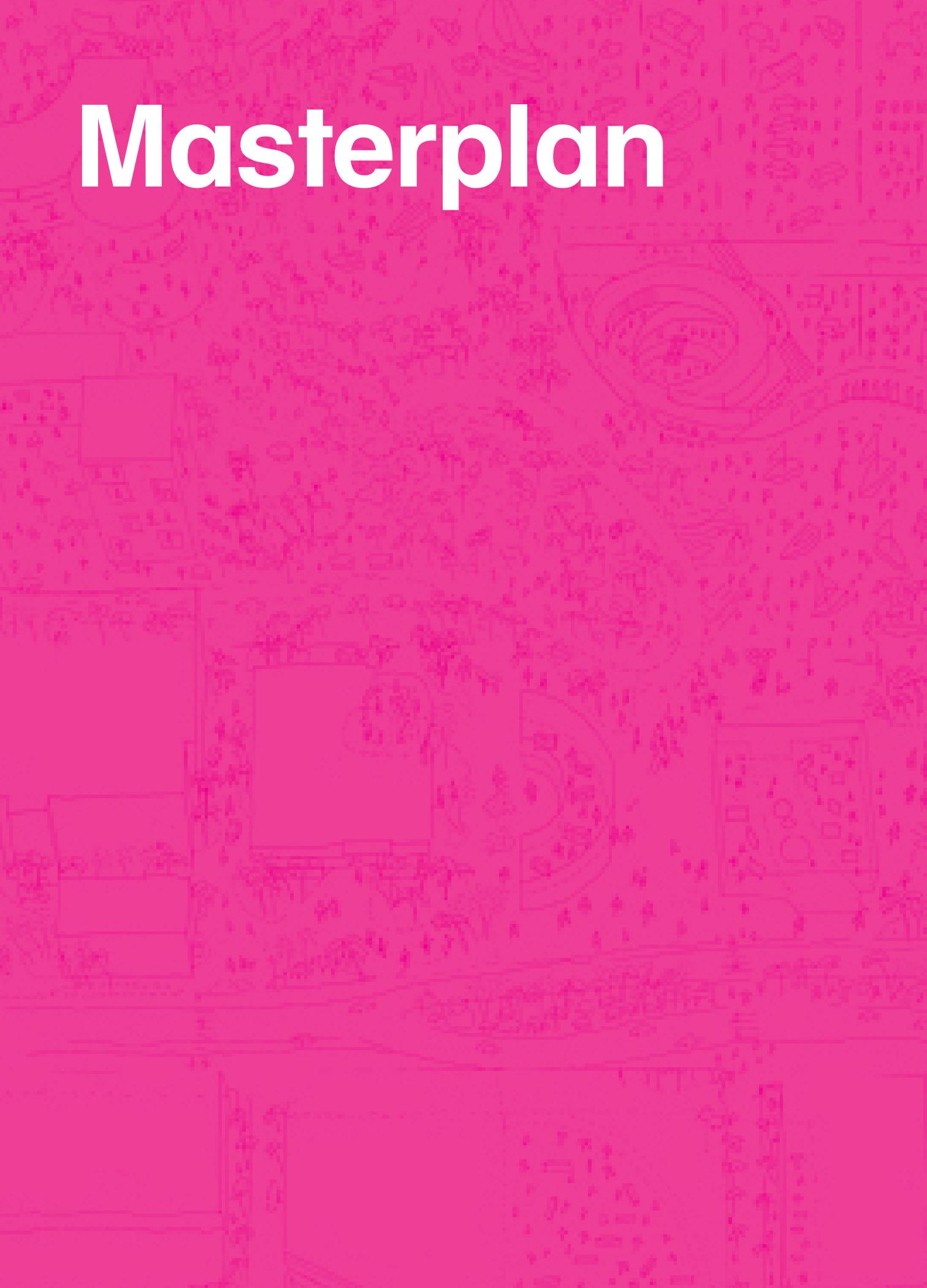


Urban and Resort



Desire Lines

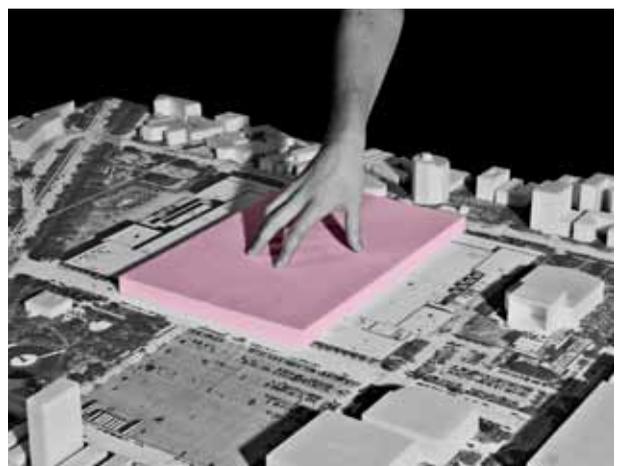
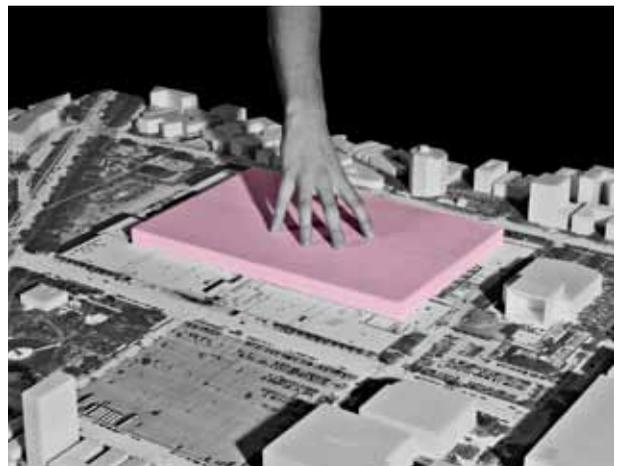
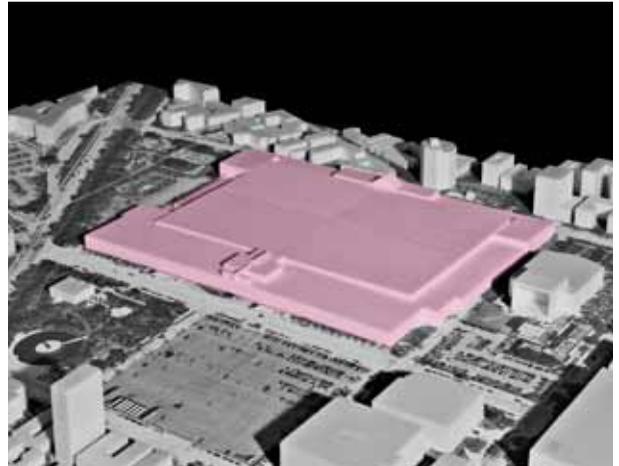
Masterplan



Masterplan

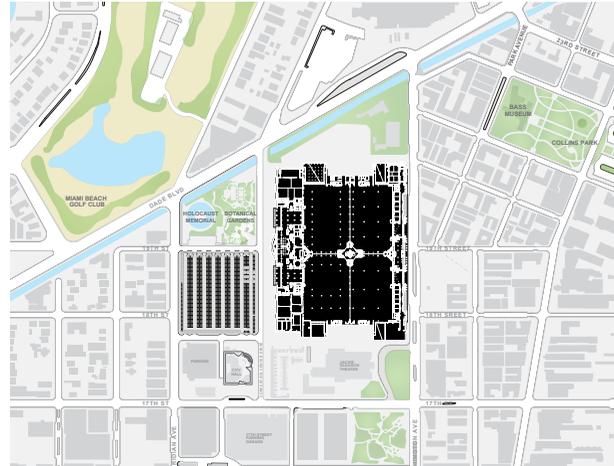
Reorientation

The current MBCC's exhibition halls are arranged into four quadrants, requiring loading on both the north and south and drop-off zones on both the east and the west. While its sheer length creates an immovable obstacle within the city, its internal redundancies impair basic functionality and operations for MBCC users. By effectively rotating the building, we have managed to make it simultaneously a better citizen within Miami Beach and a more efficient convention facility.

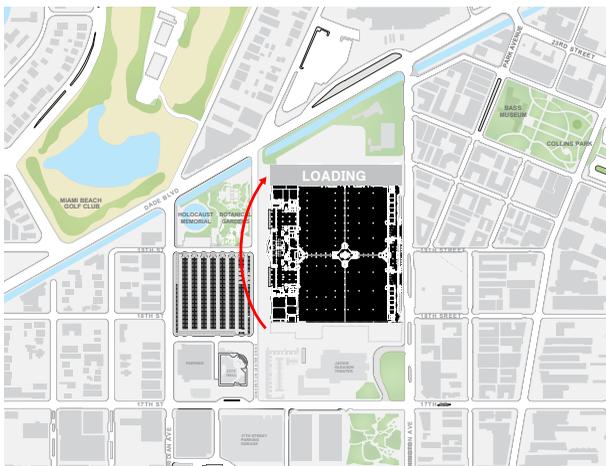


Transformation

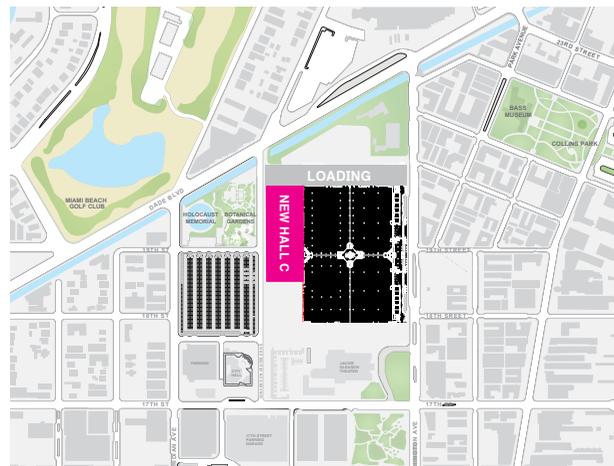
Our plan reorients the Exhibition Halls north to south, effectively rotating the building within the city. This simultaneously clarifies the building's internal organization and its relationship to the city around it. With loading consolidated to the north, and the new concourse and main entry located on the south, the building has a clear face to Lincoln Road, while maintaining access on the east side for visitors walking from the nearby beach hotels.



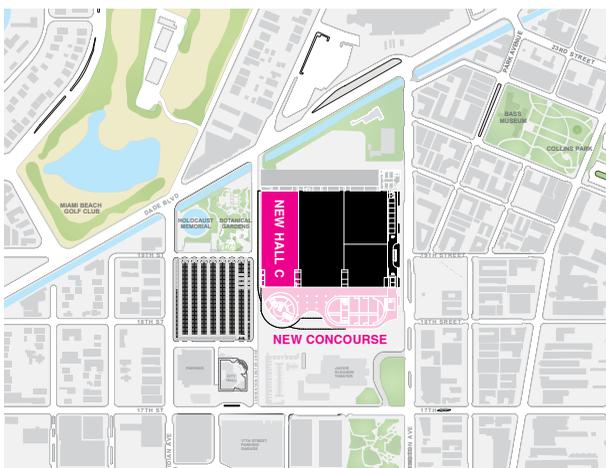
Existing Convention Center



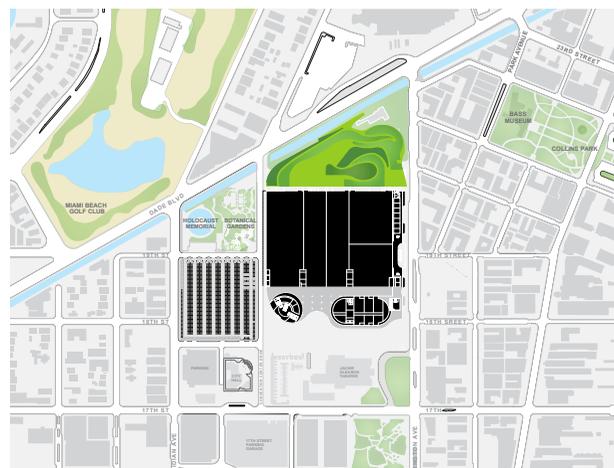
Consolidate all loading to the North



Cut West Concourse + place New Hall C



Place New Concourse on the South

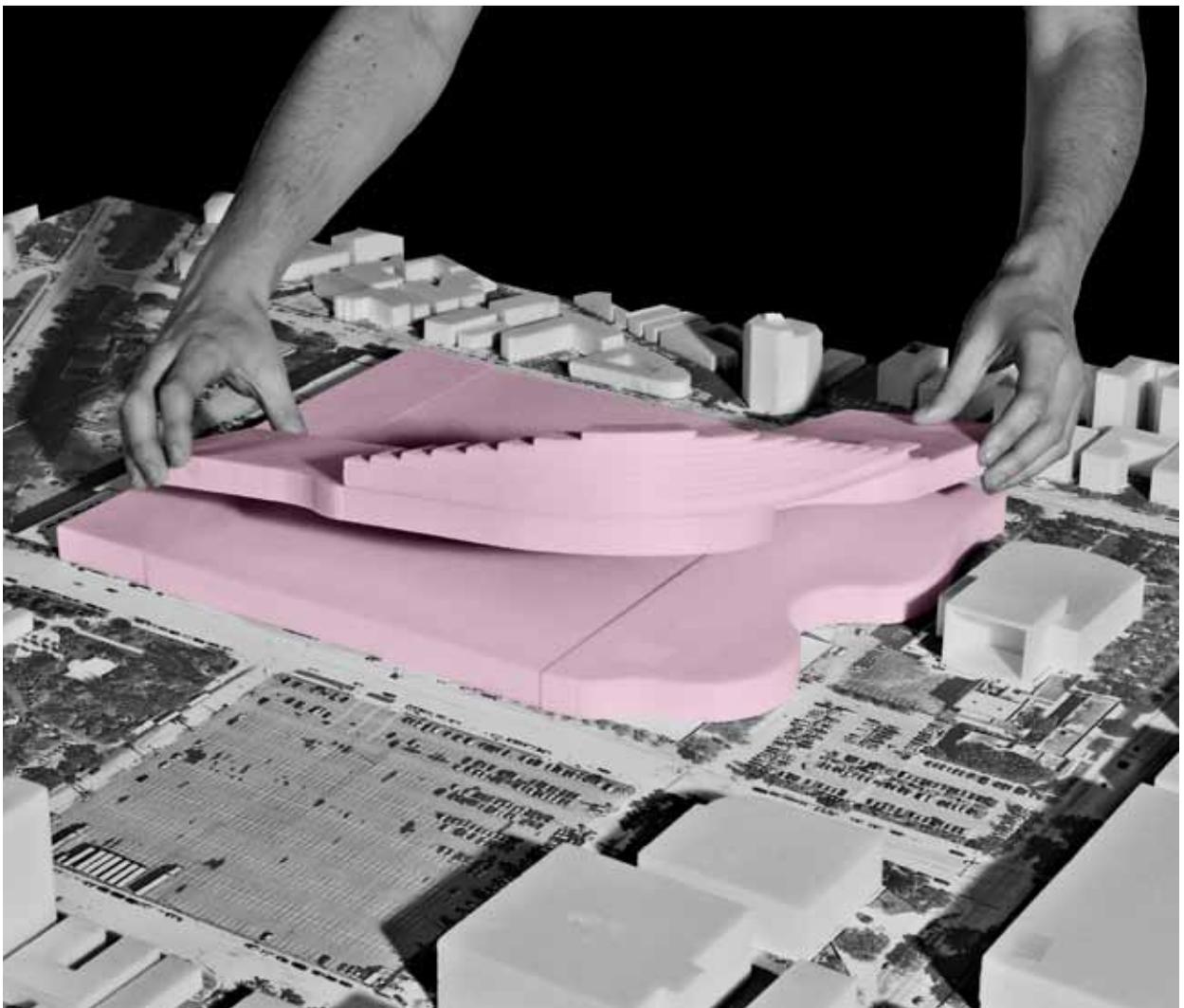


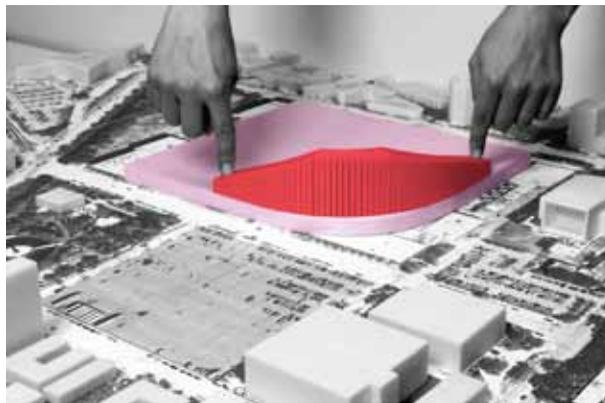
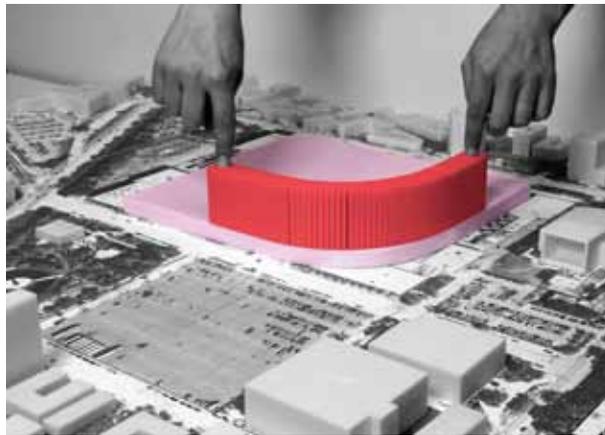
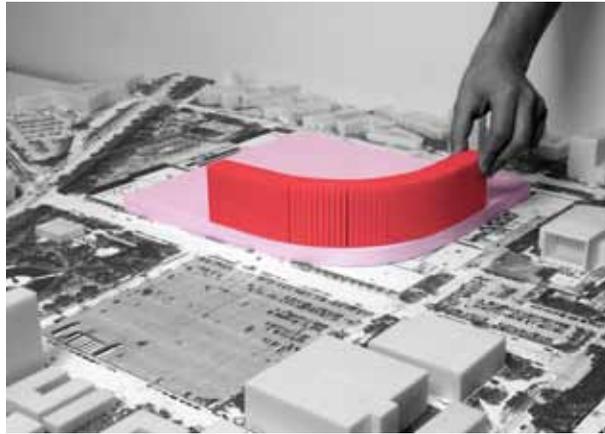
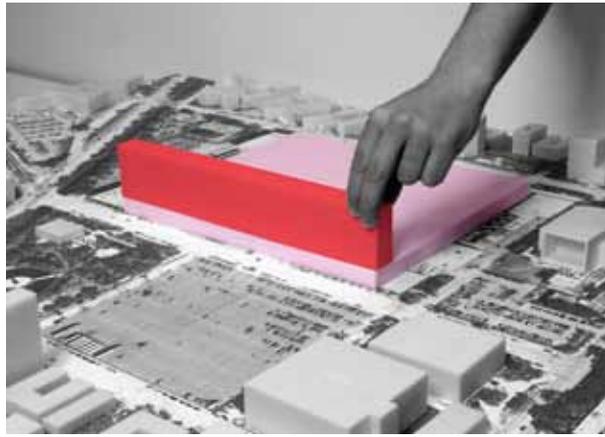
Completed

Masterplan

Put it On Top

Rather than expanding the footprint of the convention center further into the city, we have chosen to place the new convention center ballrooms and hotel on top of the Convention Center. This benefits the center by fully integrating all its functions into one facility, with immediate proximity between exhibition halls, hotel rooms and ballroom areas. The hotel entry is located at the hinge-point between the main convention center ball-rooms on the west and the main concourse and meeting room areas on the South. Its form is tapered toward an apex at convention center's southwest corner. Its location provides easy access the various functions of the MBCC.





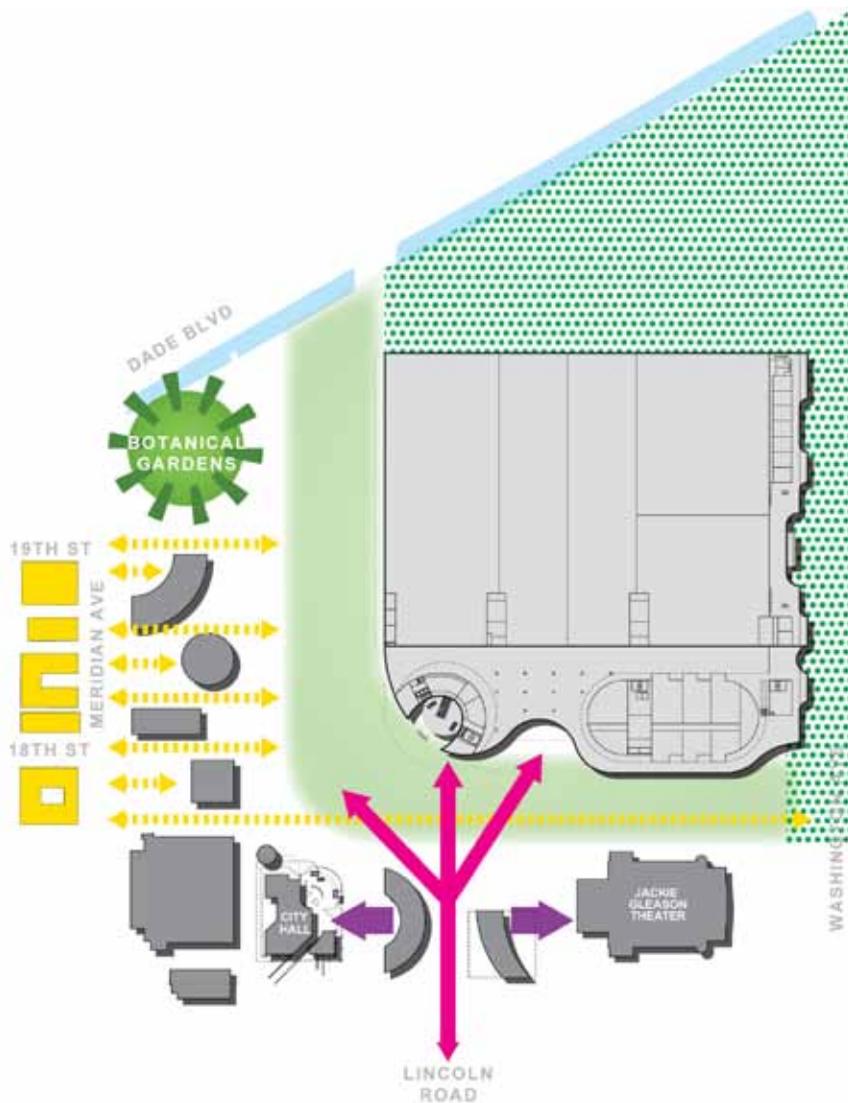




Masterplan

Extensions

Around the perimeter of the site, new programs extend and amplify the character of their immediate neighbors. To the east, the residential neighborhood of Palm View is extended across Meridian. At the South, new cultural and retail buildings activate the gap between the Miami Beach City Hall and the Jackie Gleason theater to create a new Civic band between the Convention Center and 17th Street.



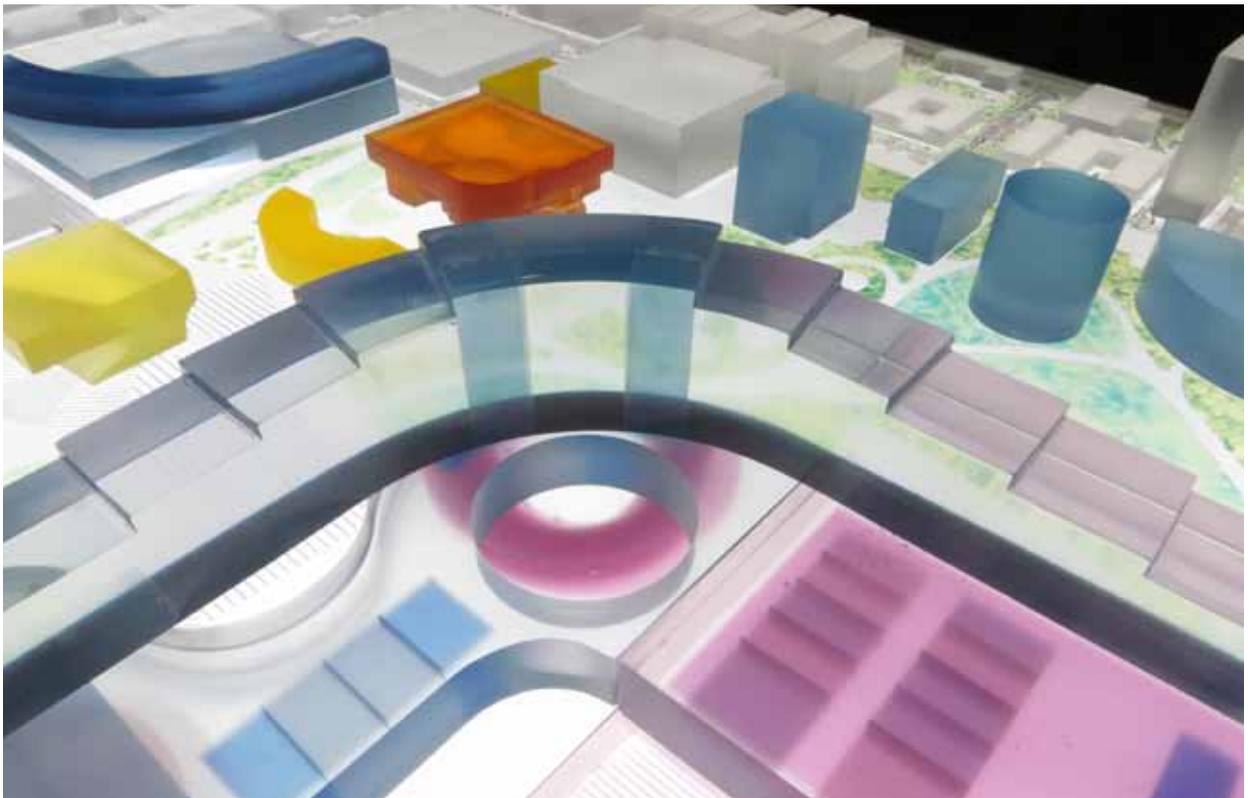


Masterplan

Active Buffer

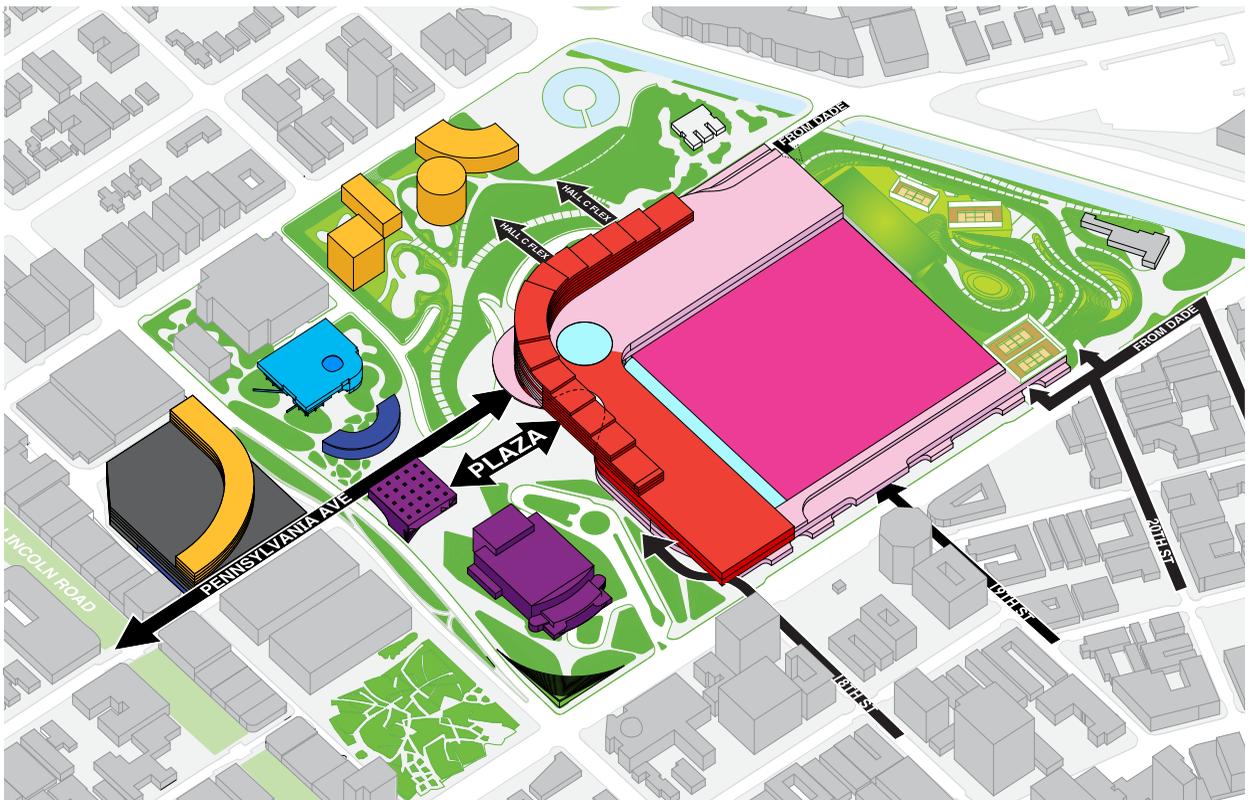
The new green band that surrounds the Convention Center restores an important buffer that was lost with the 1986 expansion. In its initial incarnations, a wide area of green extended along Washington Avenue to the east and along the Canal to the north.

Our plan creates a new green buffer around the south, west and east sides of the MBCC and a green promenade along Washington. This restores an important open space in Miami beach that is simultaneously a great resource for the Convention Center.





The new MBCC engages the city around it on all sides



Masterplan

1 Convention Center

Existing Halls	502,000 sf
Existing Meeting	127,000 sf
Additional Meeting + Ballroom	125,000 sf
Total Area	1,318,142 sf

2 Hotel

Hotel Total Area	633,730 sf
------------------	------------

3 Residential / Parking (Underground)

Residential Area: (approx 261 units)	342,000 sf
--------------------------------------	------------

4 Jackie Gleason to remain

Theater (seats)	2,700
-----------------	-------

5 Culture / Food & Beverage Venue

Culture Total Area:	18,000 sf
F&B Venue (Part of Hotel Development) Total Area:	40,000 sf

6 17th Street Parking (Existing) / Retail/ Residential

Retail	59,500 sf
Existing Parking	1,450 spaces
New Additional Parking	300 spaces
Residential: (approx 80 units)	105,000 sf

7 Community Center (Rebuilt)

Community Center (2 Levels, under bermed landscape)	9,000 sf
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8 Replacement Office (for demo'd existing)

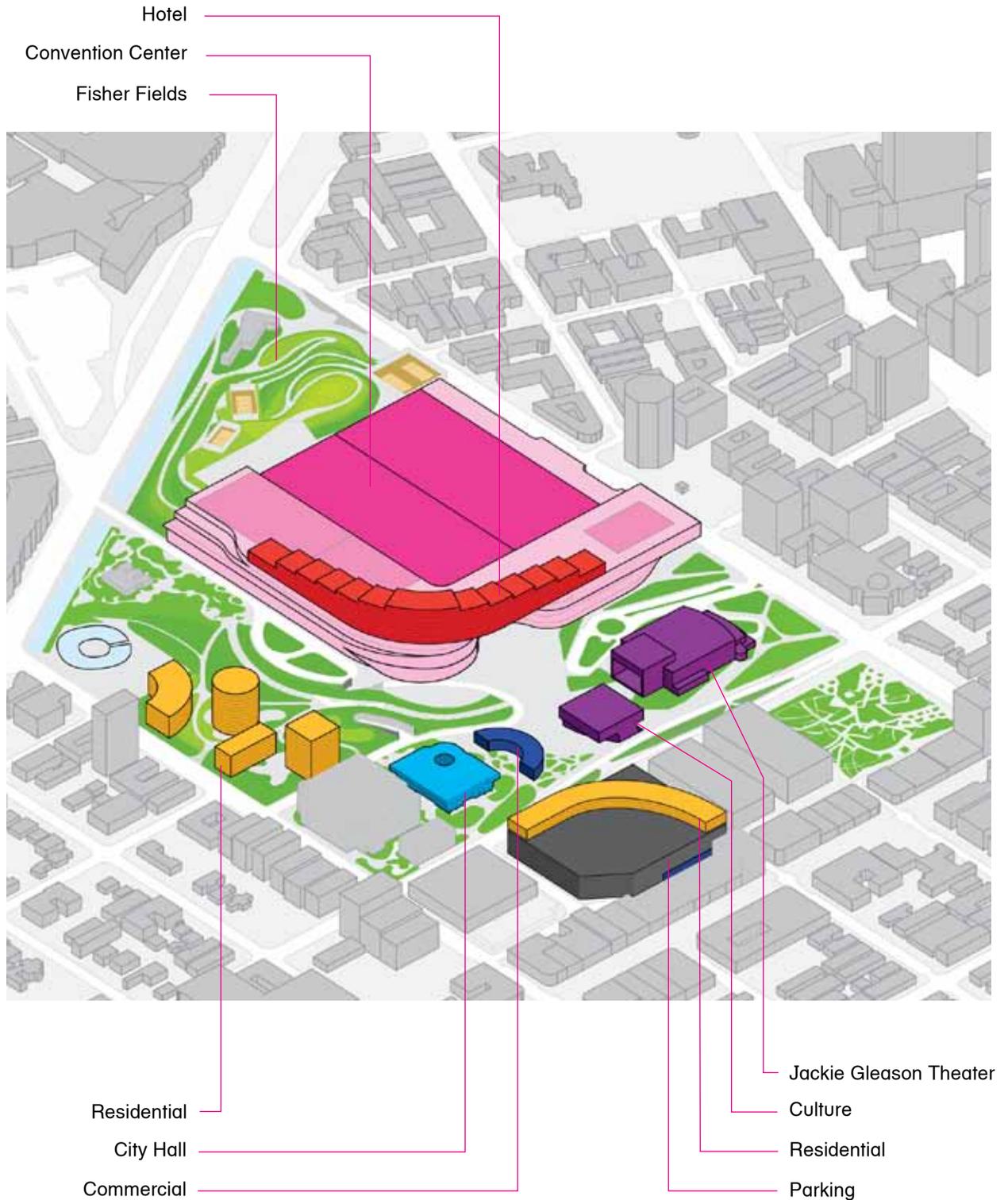
Office (Reallocated Office above Hall C in CC to replace 555 17th St Office and 22nd St Community Center Office)	15,000 sf
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9 Info Center

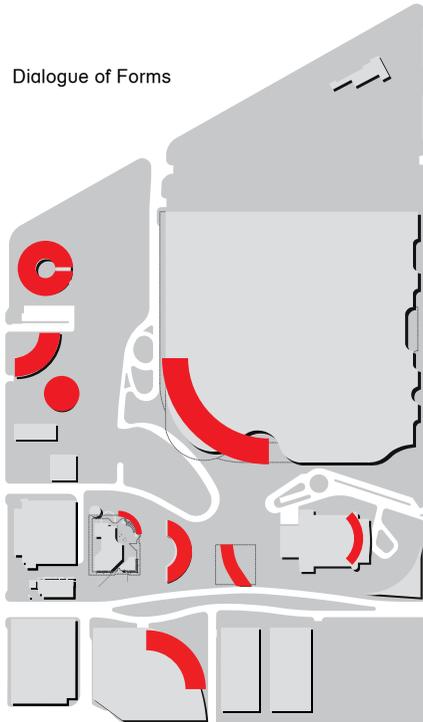
Info Center	9,361 sf
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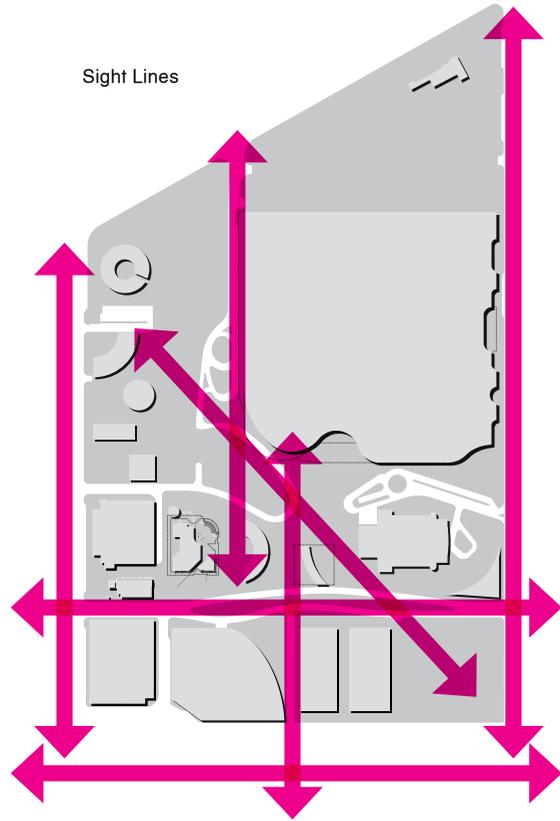
Massing



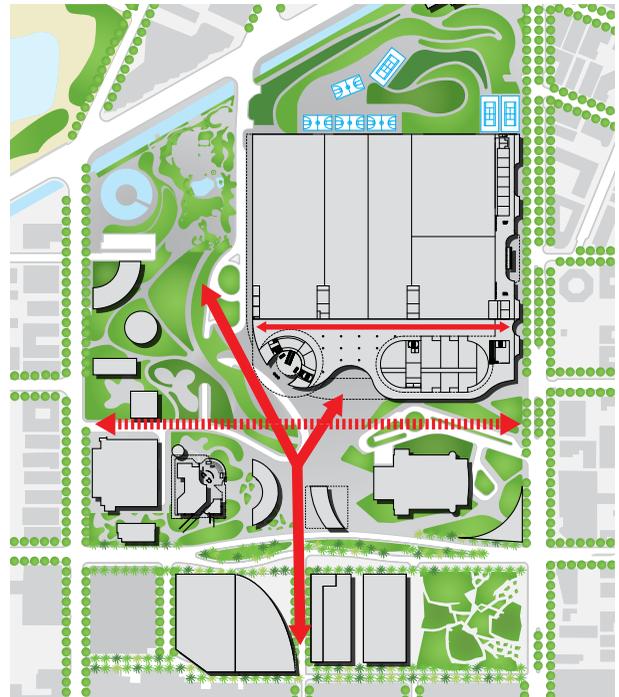
Dialogue of Forms



Sight Lines



Drop off locations

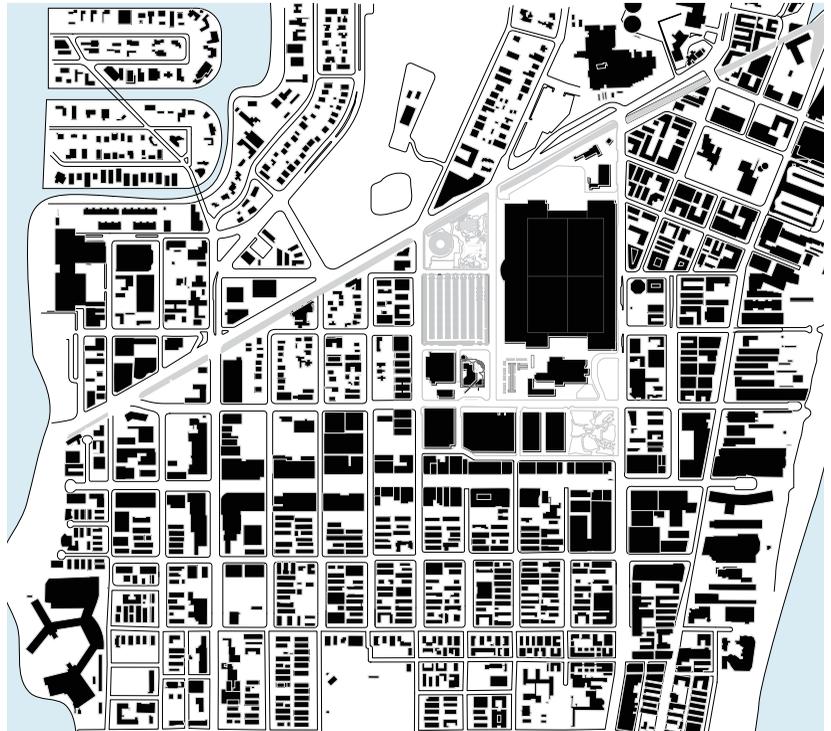


Pedestrian Links

Masterplan

Unlock the Site

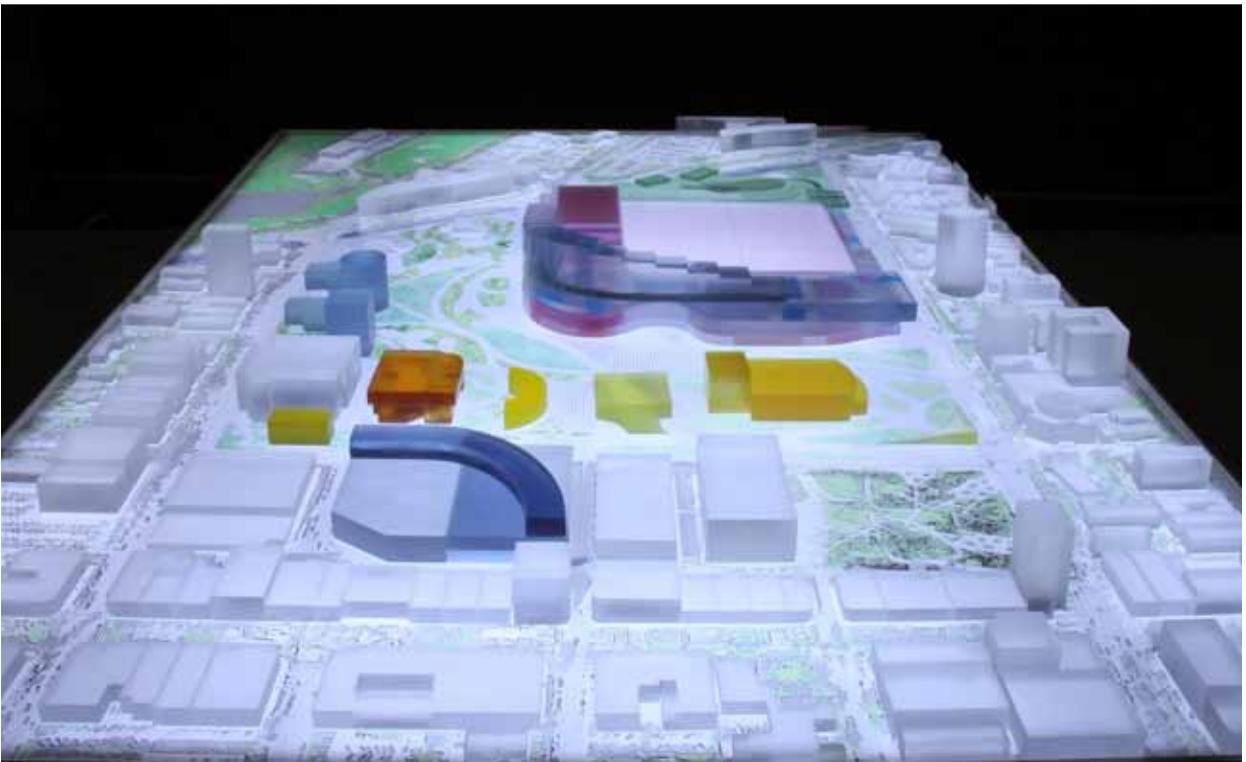
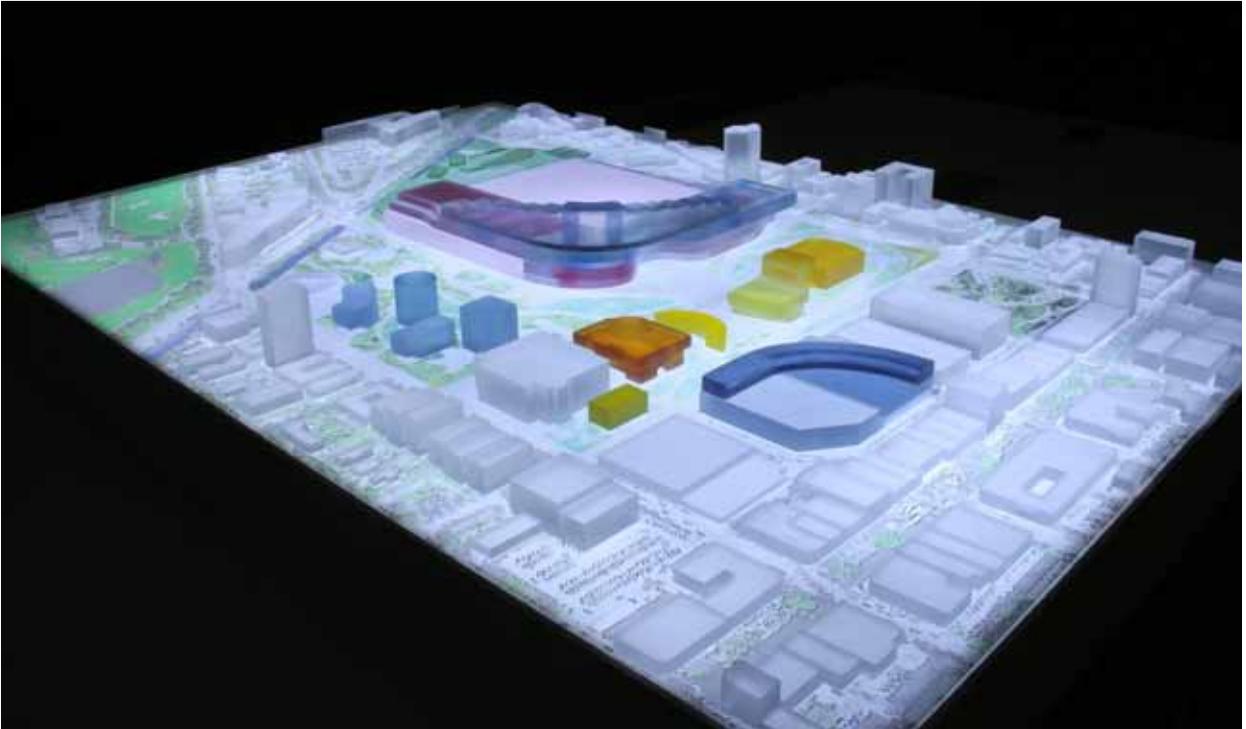
The impact of the new MBCC extends beyond its immediate context. What was once an obstacle becomes a connector, what was a problem becomes a new center.



Existing



Proposed

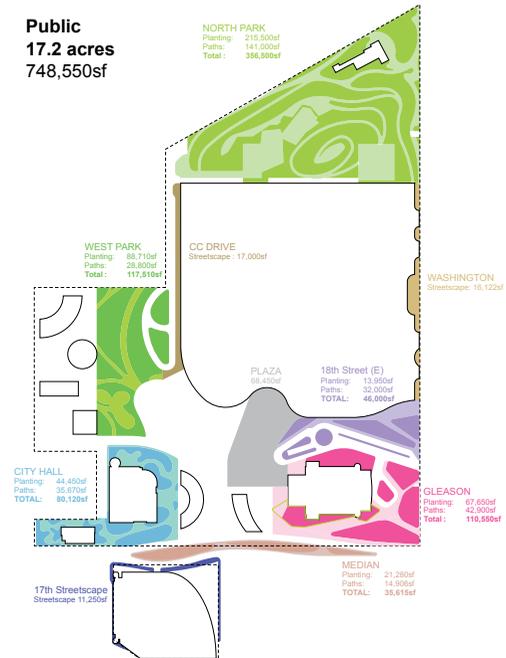


Masterplan

Open Public Space

Starting with its role as the original Miami Beach Municipal Golf Course, the site has an important history as an open space within Miami Beach. Our masterplan reestablishes the area around the Convention Center as a new public amenity for the city, with 28 acres of public open space.

Public
17.2 acres
748,550sf

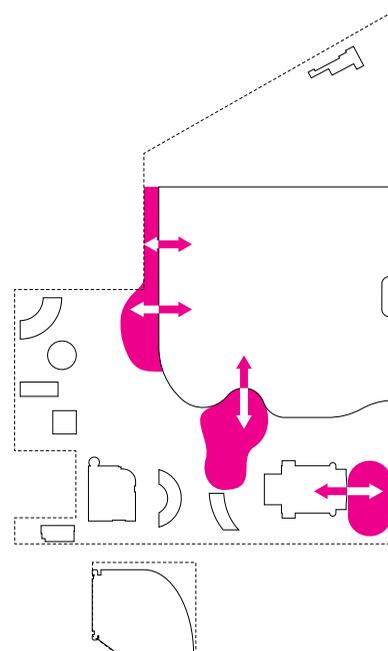


Flexible Outdoor Space

To the West and South of the Convention Center, hardscaped plaza areas provide new civic areas that can also be used as temporary exhibition and spill out or tented spaces for events like Art Basel and the Boat Show.

Convention Center Drive has been reconfigured as a shared surface road and the traffic strategy configured to allow it to be closed, creating 60,000 sf of space for events or public programming. In addition to this hardscaped space, a 65,000 sf lawn area provides additional space for functions and events.

At the Convention Center entry to the south, the MBCC plaza provides 70,000 sf of dedicated space free from obstructions that can house tents for large exhibits or other smaller installations for community events. In addition, 45,000 sf in front of the Jackie Gleason Theater can also be used for events.





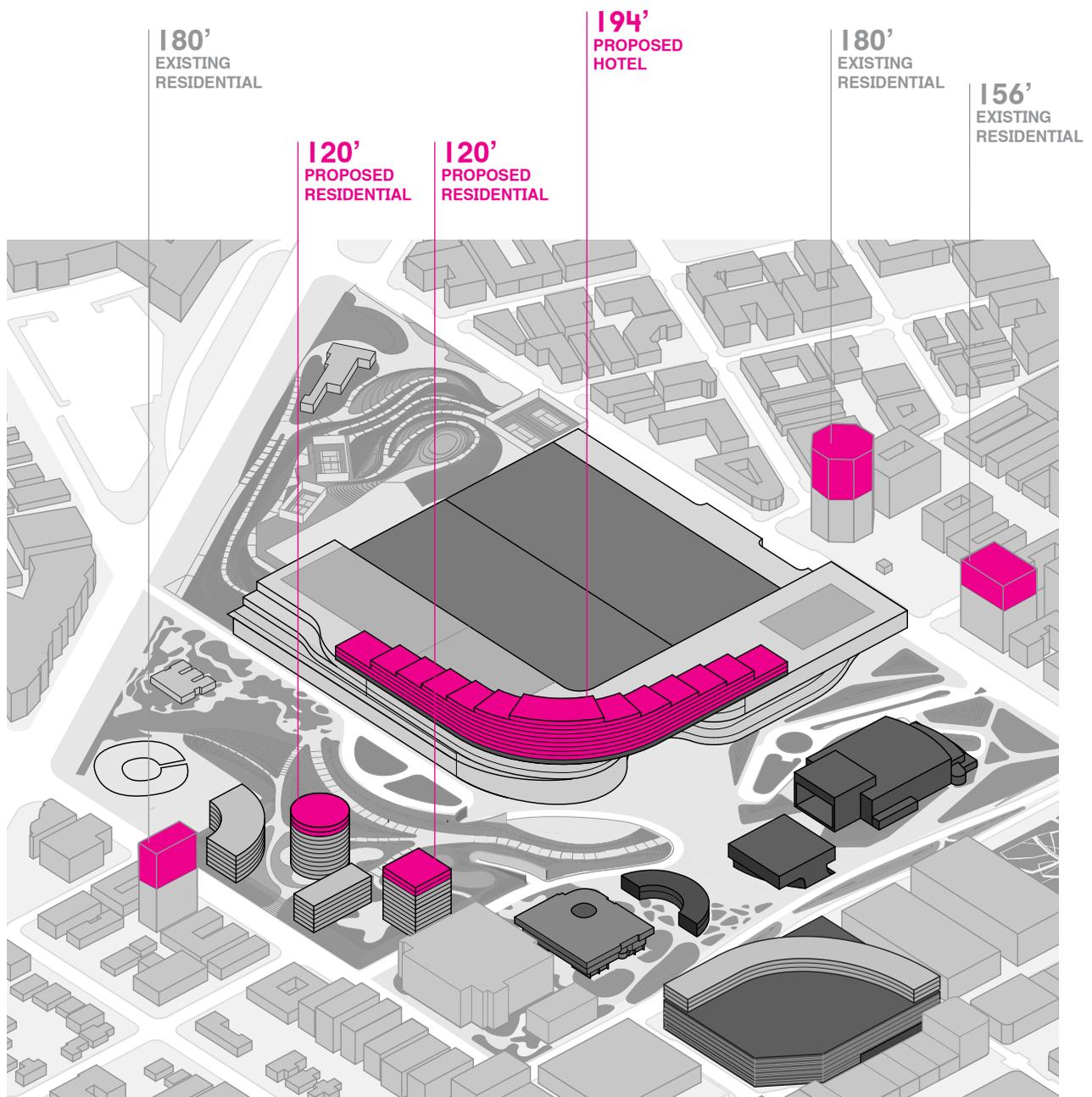




Allowable Heights

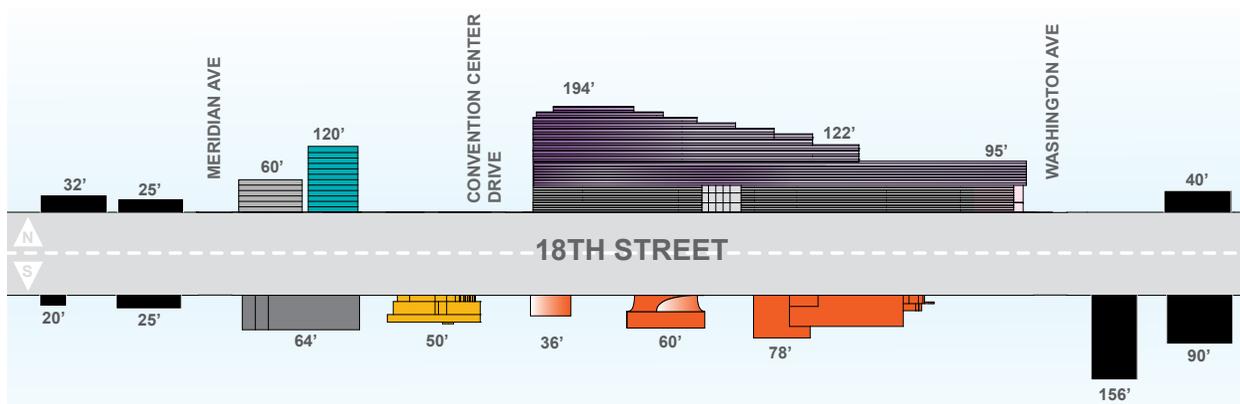
The heights of the hotel and other new buildings have been carefully calibrated to accommodate the sensitivities around the site. The hotel is placed in the middle, set back from Palm View to the West, Collins Park to the East and SoundScape Park to the South. Rising gradually from the East and North, it reaches a height of 194 feet at its apex (15% of its length), only slightly higher than the tallest structures around the site. The

building's curving form and tapered profile react dynamically to the city around it, creating a silhouette that shifts and changes depending on the location of the viewer. Its height not only provides attractive views for the rooms (and correspondingly higher room rates), it also minimizes the combined footprint of the Hotel and Convention Center.



Four residential buildings are located along the east side of Meridian Avenue. The two immediately adjacent to Meridian are limited to 60 feet in height. The remaining two buildings are set back from Meridian and rise to 120 feet.

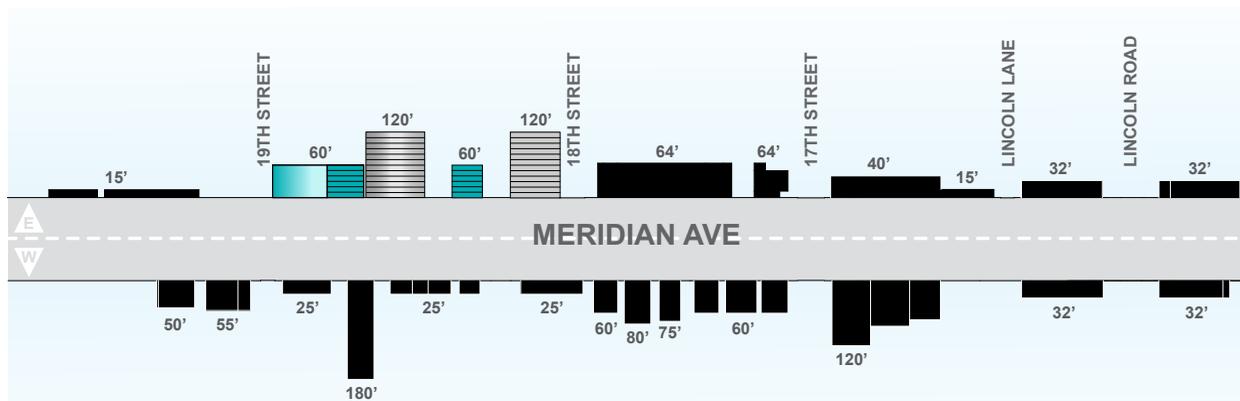
Together with the gradually stepping profile of the Hotel, the residential buildings create a clear skyline for the MBCC district that rises toward the center from a lower periphery. Along the southern edge of the site, the buildings between the Jackie Gleason Theater and City Hall are scaled to avoid overshadowing their historic neighbors.



Elevation along 18th Street

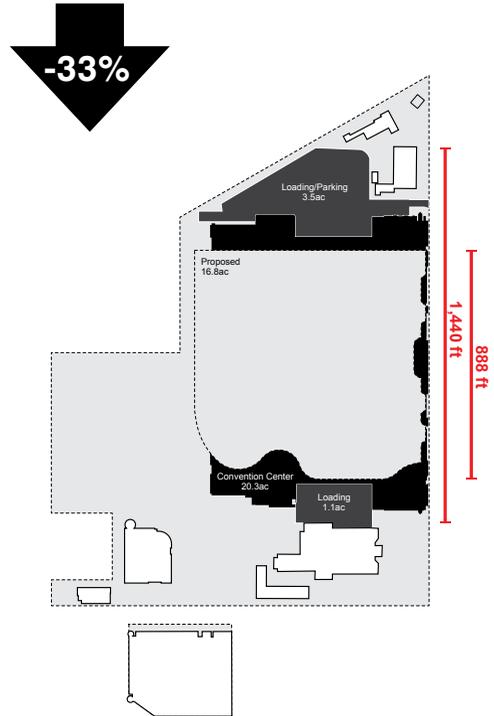


Elevation along 17th Street



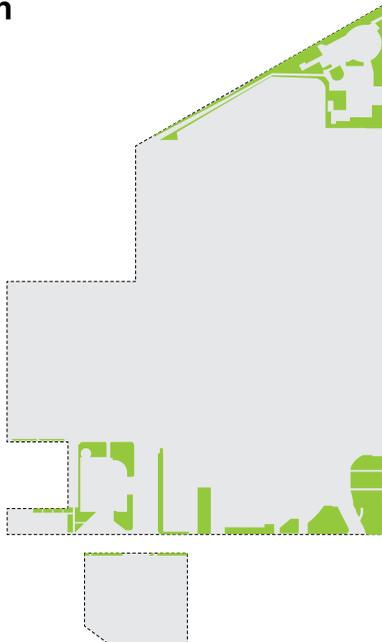
Improvements

The site is transformed from an area dominated by asphalt into an oasis within Miami Beach. Today almost one-third of the site (16 acres) is surface parking, loading and roads, vs. just three acres of roads in our plan. Over 28 acres of publicly accessible open space integrates the entire convention center site into the rest of Miami Beach.

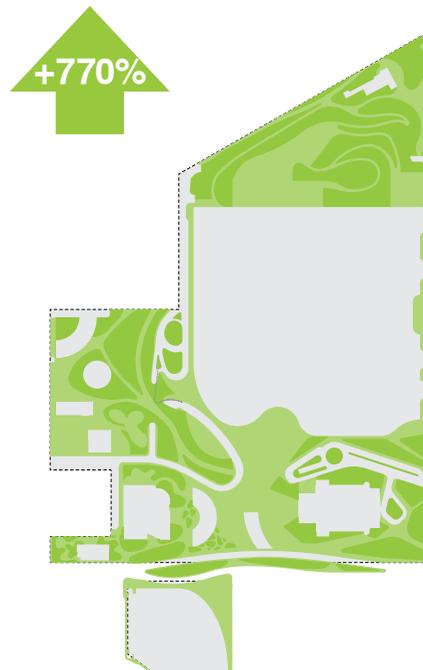


Existing CC (including loading/parking)
24.9 acres
Proposed CC (overlaid with existing)
16.84 acres

Green

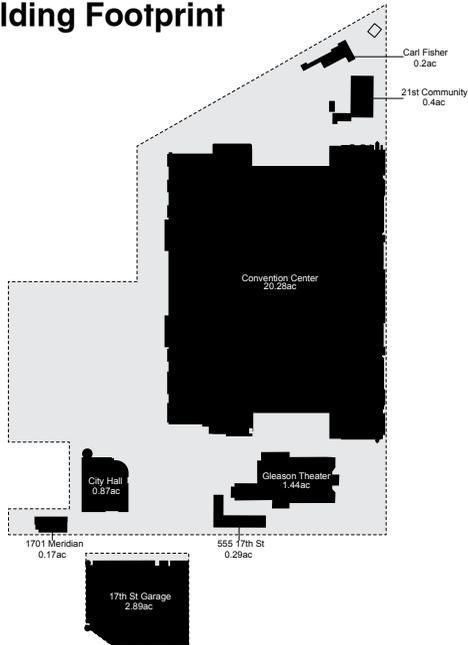


Existing Green
3.7 acres

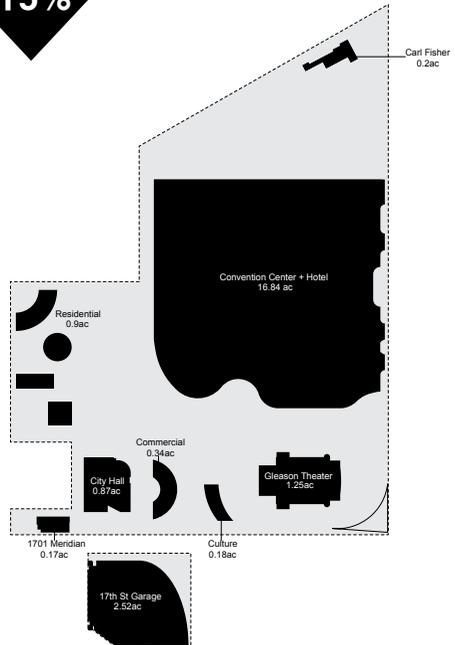


Proposed Green
28.6 acres

Building Footprint

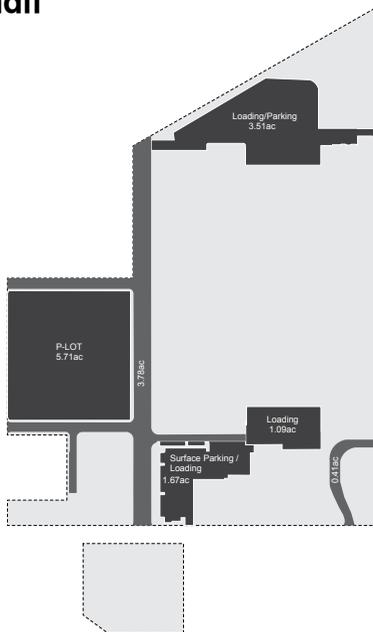


Existing Building Footprint
26.54 acres

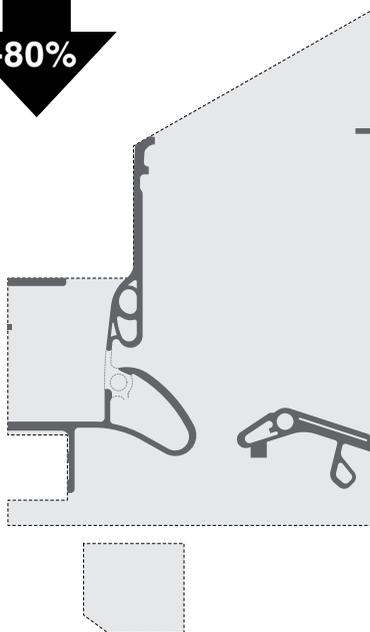


Proposed Building Footprint
23.27 acres

Asphalt



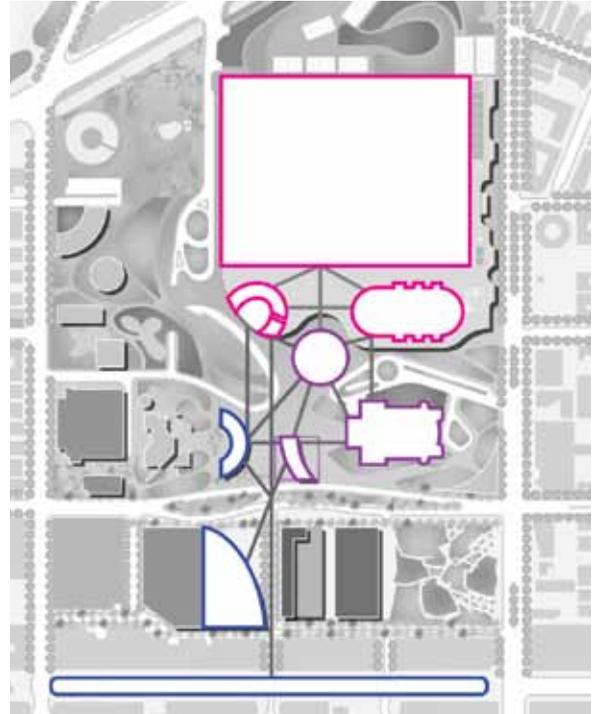
Existing Asphalt
16.17 acres



Proposed Roadways
3.2 acres

Synergy on Site

Reorienting the Convention Center's main entry allows it to operate in concert with the other buildings and institutions around it. The Jackie Gleason Theater, the new cultural building, the Convention Center and its plazas offer a differs set of programs and spaces which can complement one another. The Jackie Gleason can be used for assemblies of groups utilizing the MBCC. Meanwhile, the cultural building can serve as either an ancillary exhibition area during Art Basel or event space during other times of the year. All of these operate in concert to draw people from the Convention Center out into Miami Beach and down to Lincoln Road.



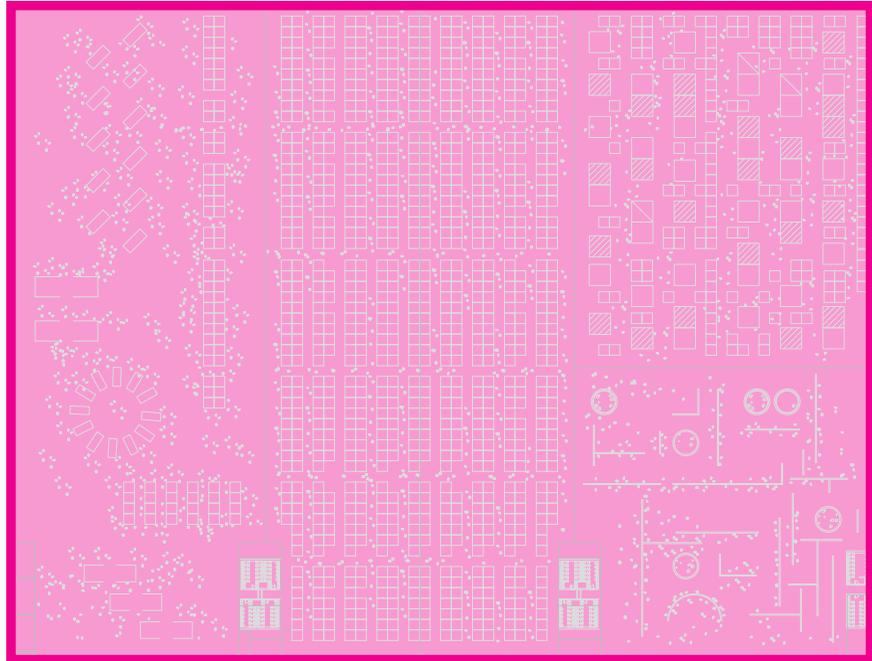
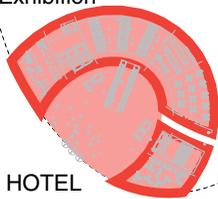
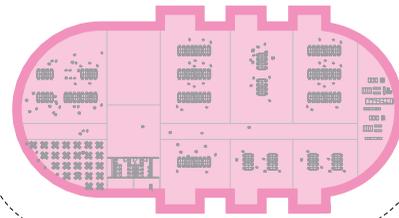
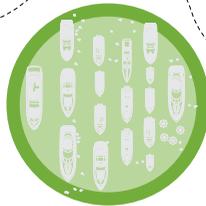


EXHIBIT HALLS
Exhibition



HOTEL
Meeting
Sleeping
Dining
Fitness
Spa



MEETING ROOMS
Meeting
Assembly
Seminar

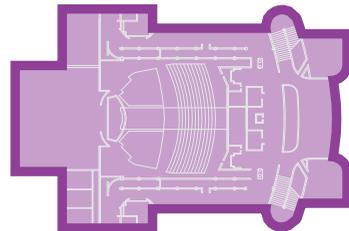
PLAZA
Tented Exhibition
Outdoor Performance
Fitness
Food Market



FOOD & BEV
Dining
Event



CULTURAL
Gallery
Event Space
Outdoor Screening



JACKIE GLEASON THEATER
Concert
Performing Art
Broadcast
Assembly
Seminar

Plaza



View Plaza from the West

To the south of the convention center, 18th Street is reconnected as an activated pedestrian corridor. Since the concourse runs the length of the exhibition halls, it also acts as an interior connector, a virtual extension of 18th Street across the site.



Plaza and concourse create important pedestrian links at 18th Street.



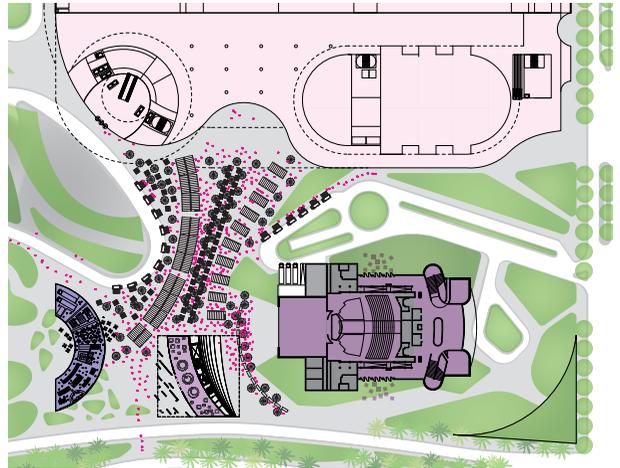




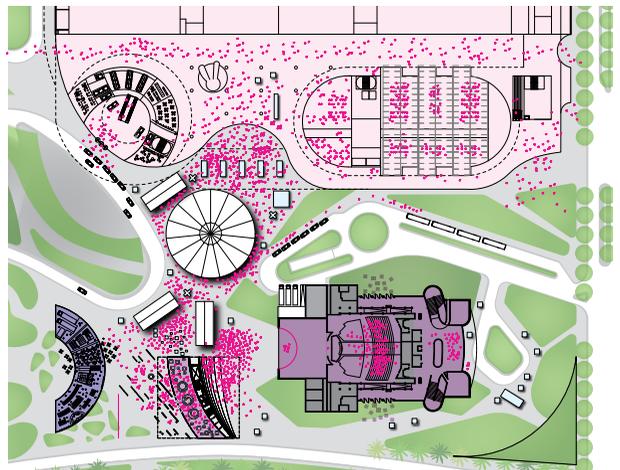
Plaza Uses

At the Convention Center entry, a 70,000 sf plaza provides space for tented functions like Design Miami, but also for a variety of community events and uses, from fitness to street fairs.

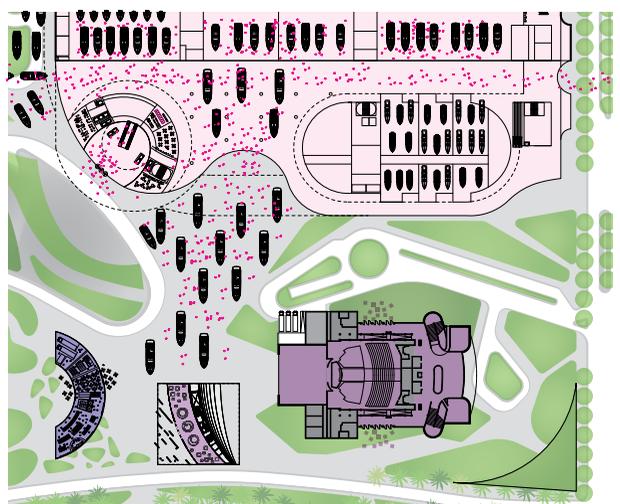




Food Trucks

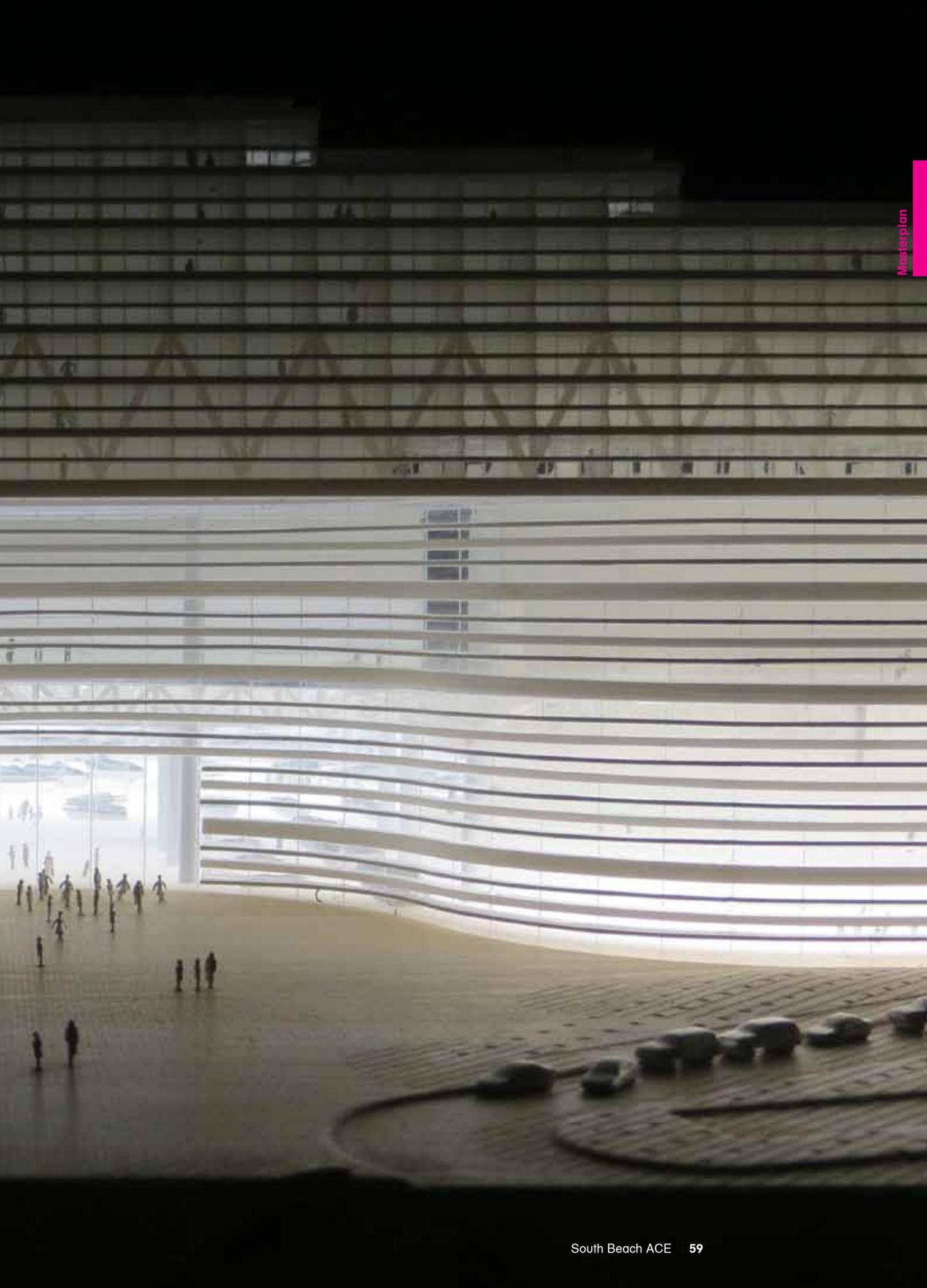


Art Basel



Boat Show

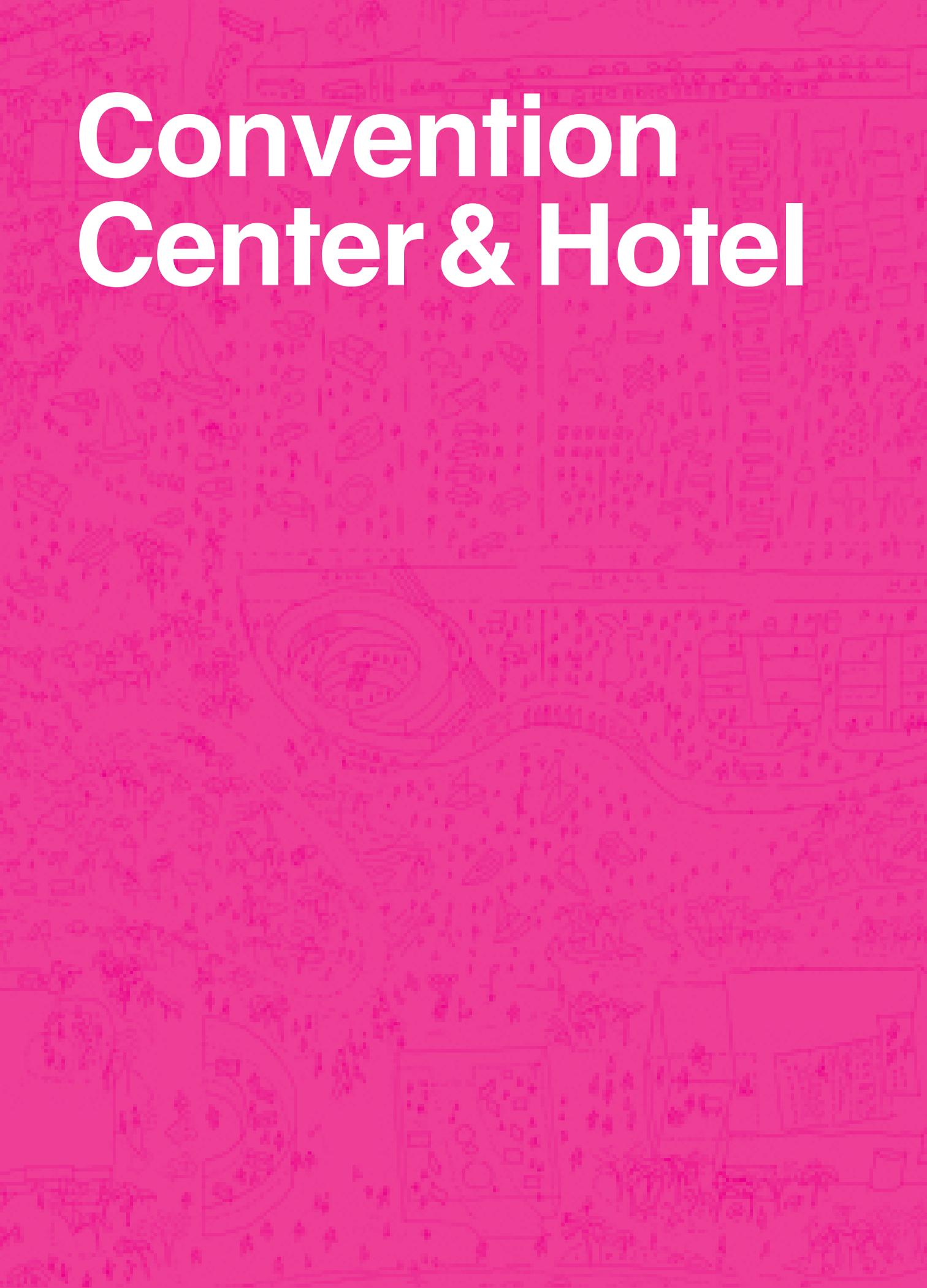








Convention Center & Hotel

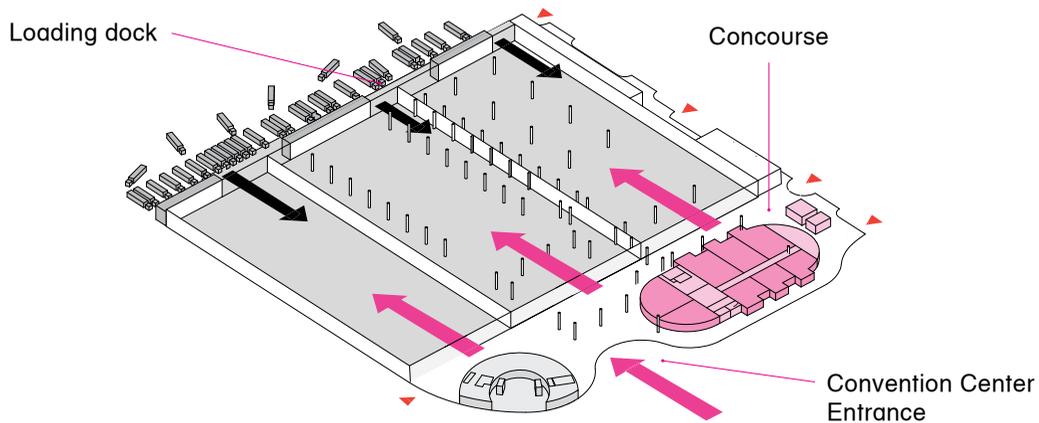


Convention Center

Access and Loading: One Sided Loading

The reorientation of the halls creates a clear diagram for their access by loading on the North and a main concourse on the South. Entries for pedestrians are

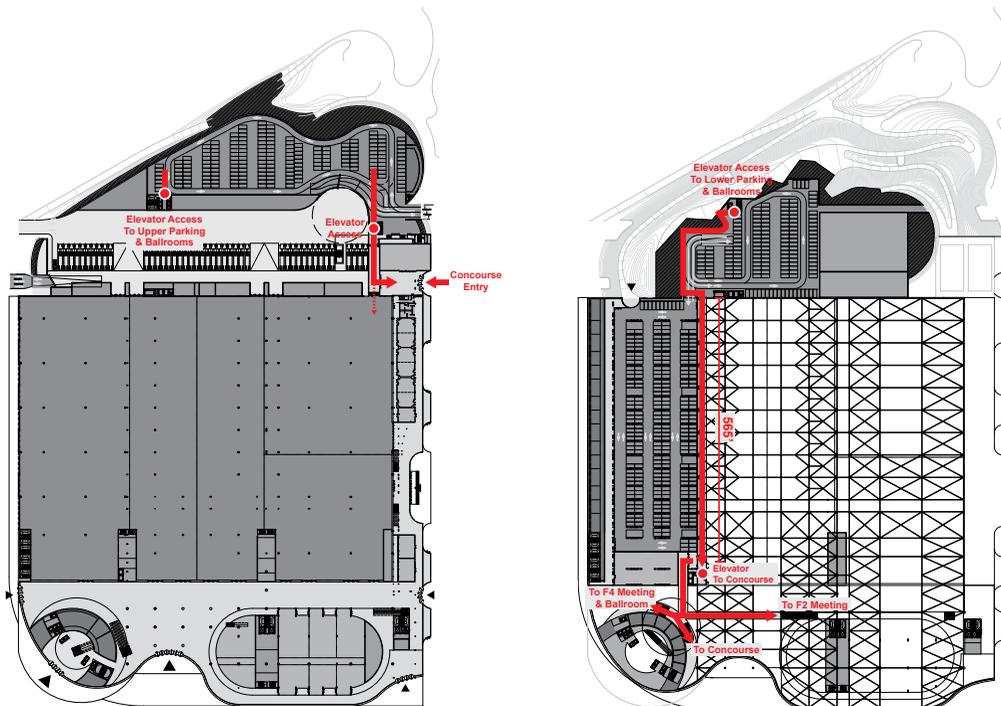
maintained along the East side facing the hotels along Collins, an essential selling point for many of the MBCC's users such as Art Basel.



Parking Access

From the main parking to the North of the MBCC, visitors can directly access both the East Concourse (in conjunction with the new entry at 20th Street) and the

Main Concourse. Access to the main concourse occurs at F3, providing convenient access to the main ballroom at F4.



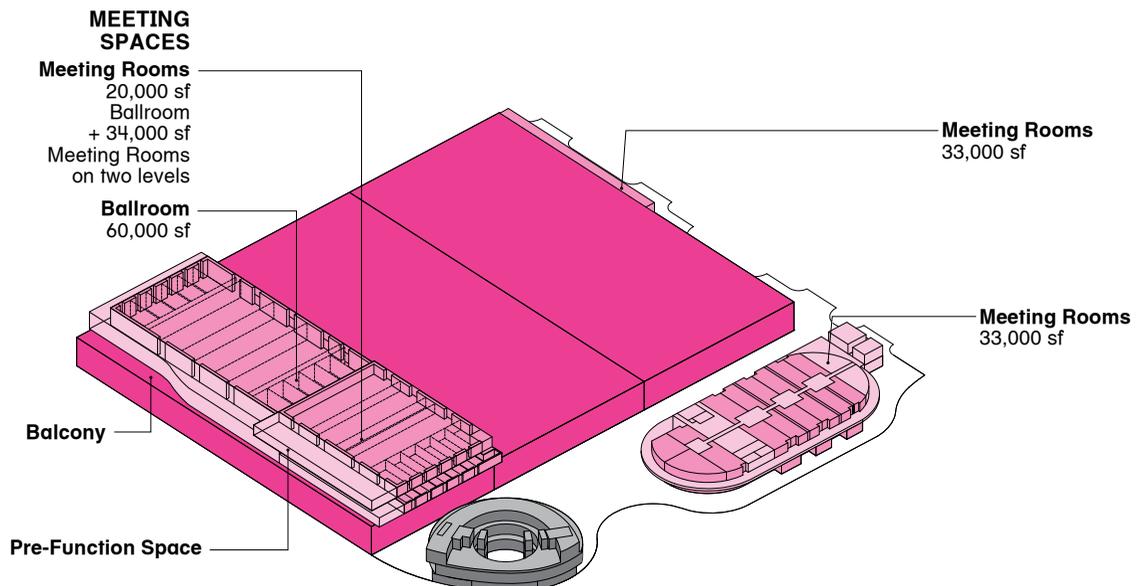
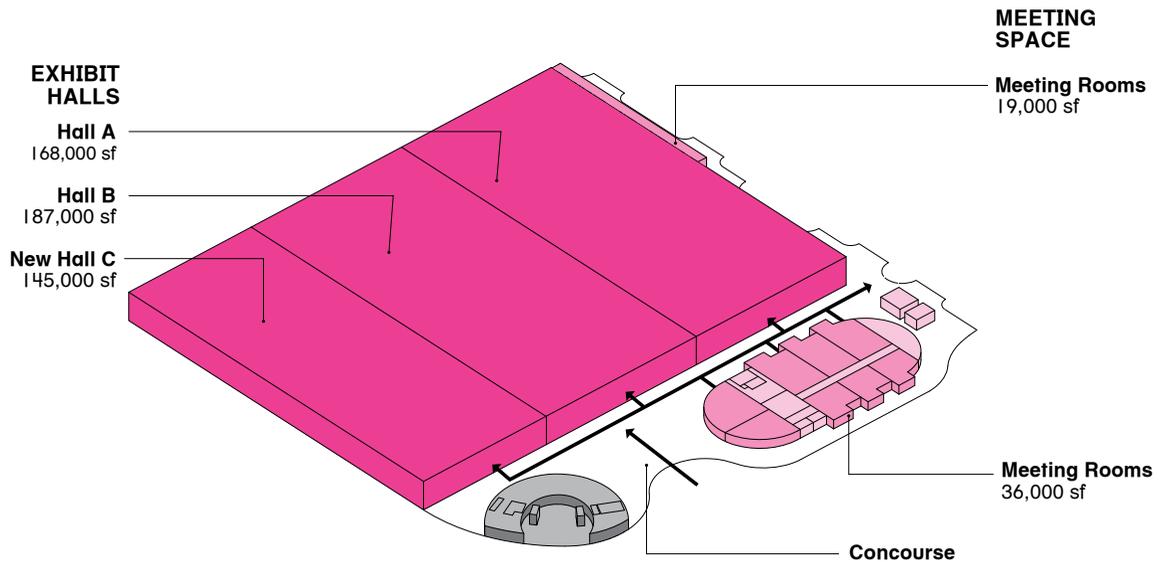
Convention Center Stack

The organization of the Convention Center and Hotel has been orchestrated to maximize the benefits of locating all of the MBCC's functions within a single building. At the ground floor, the exhibition halls are framed to the South and the East by meeting rooms accessed from the main concourse and a secondary concourse along Washington Avenue. This easy proximity of meeting space to the Halls is essential for meeting planners.

The new 60,000 sf ballroom is located above the new exhibition hall (Hall C) on the West side of the building.

The ballroom is framed by a cluster of meeting rooms, ample pre-function space and an 11,150 sf terrace overlooking the Botanical Gardens and downtown Miami. The MBCC kitchen is to the north of the Ballroom on the same level, allowing for easy access for large dining events.

One level up from the main Ballroom, two 20,000 sf ballrooms are arranged so that they can be joined into a single 40,000 sf space. These two 20,000 sf ballrooms also have access to their own 7,750 sf terrace.







MIAMI BEACH | CONVENTION CENTER

CC and Hotel

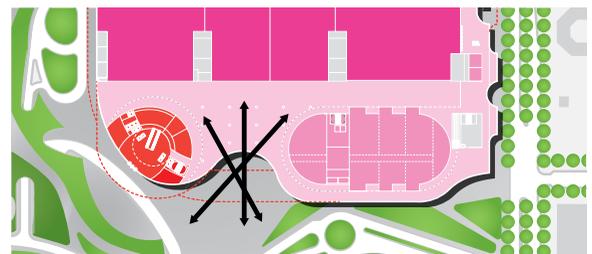
AC

Concourse

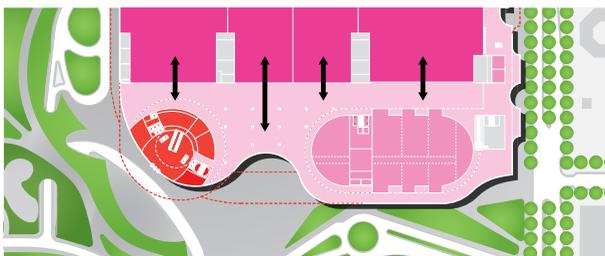


Concourse Flexibility

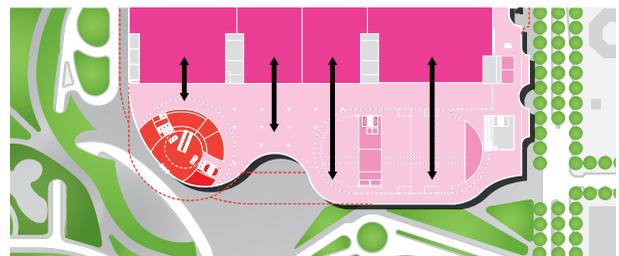
The new southern concourse area is built within a portion of the existing halls. With 35 foot ceilings, this area can easily serve as an extension of the exhibition halls when needed, providing 75,000 sf of additional space. The ground floor meeting rooms at the south utilize a state-of-the-art wall system enabling them to collapse, leaving only minimal support spaces. That can further increase the zone of the Flex Concourse area by 55,000 sf for a total of 130,000 sf of additional indoor exhibition area.



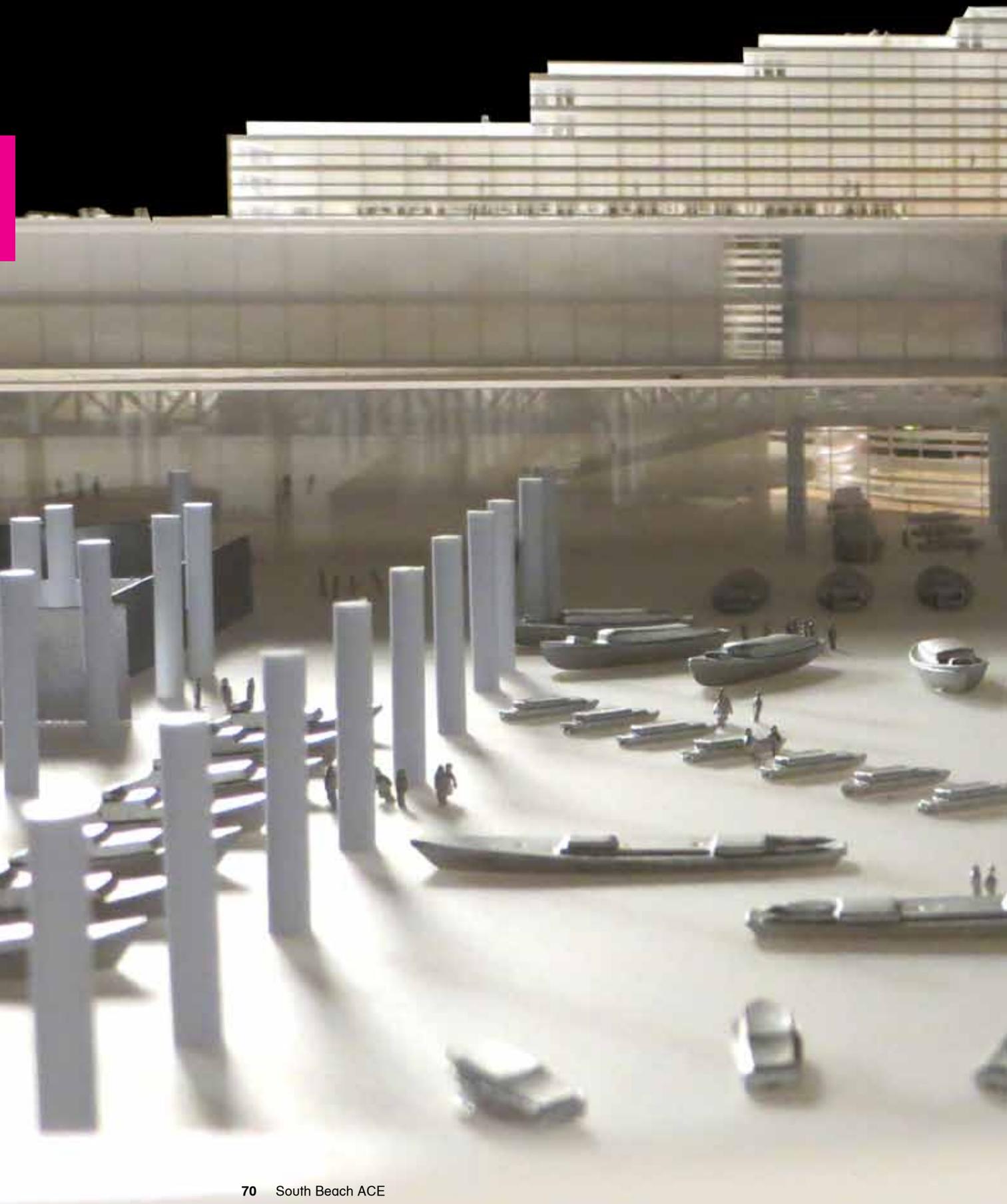
MBCC Lobby



Flexible Concourse



Concourse with meeting rooms collapsed



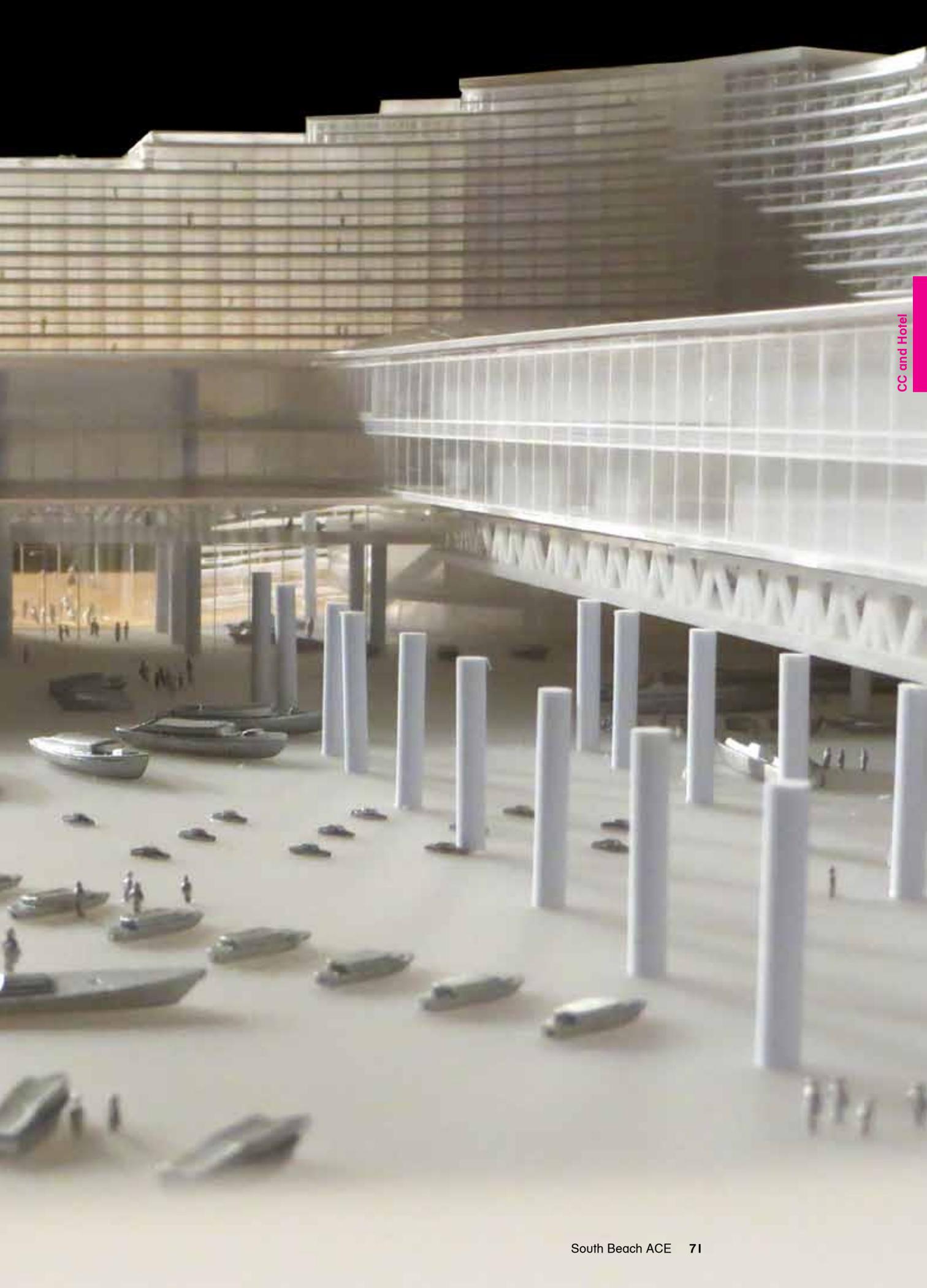


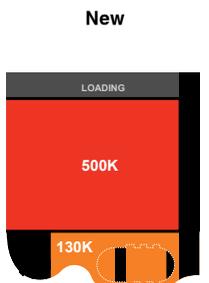
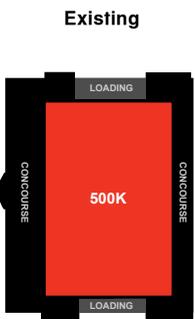
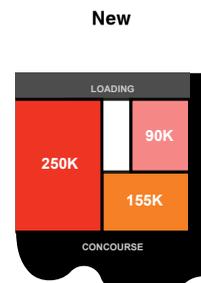
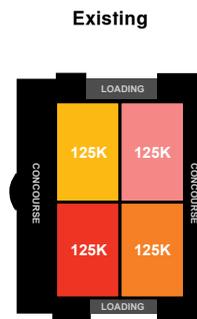
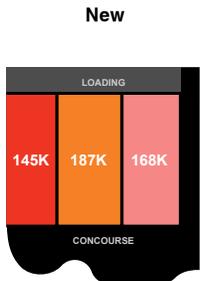
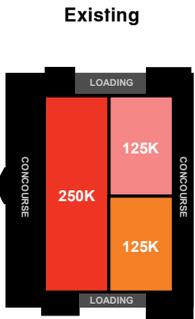
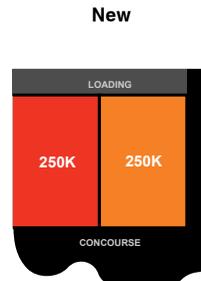
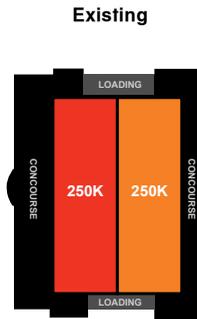
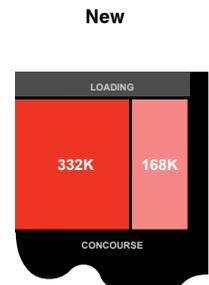
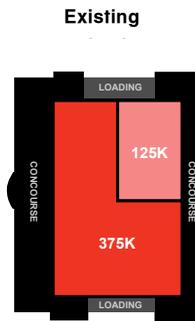
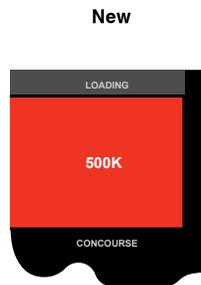
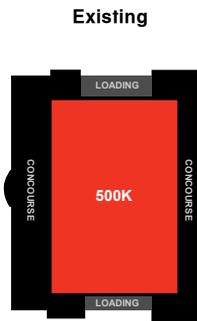
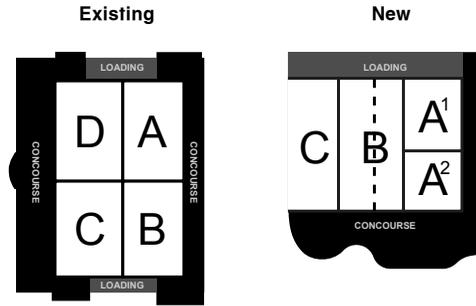
Exhibit Halls

- | | |
|--------------------|---------------------|
| 1 Hotel Lobby | 10 Toilets |
| 2 Hotel Check-in | 11 CC Meeting Space |
| 3 Hotel Restaurant | 12 Storage |
| 4 Hotel Bar | 13 BOH |
| 5 Retail | 14 Loading Dock |
| 6 Kitchen | 15 Crate Storage |
| 7 Registration | 16 BOH / Shops |
| 8 Food Court | 17 Community Center |
| 9 Food Service | 18 Parking |



Hall Configurations

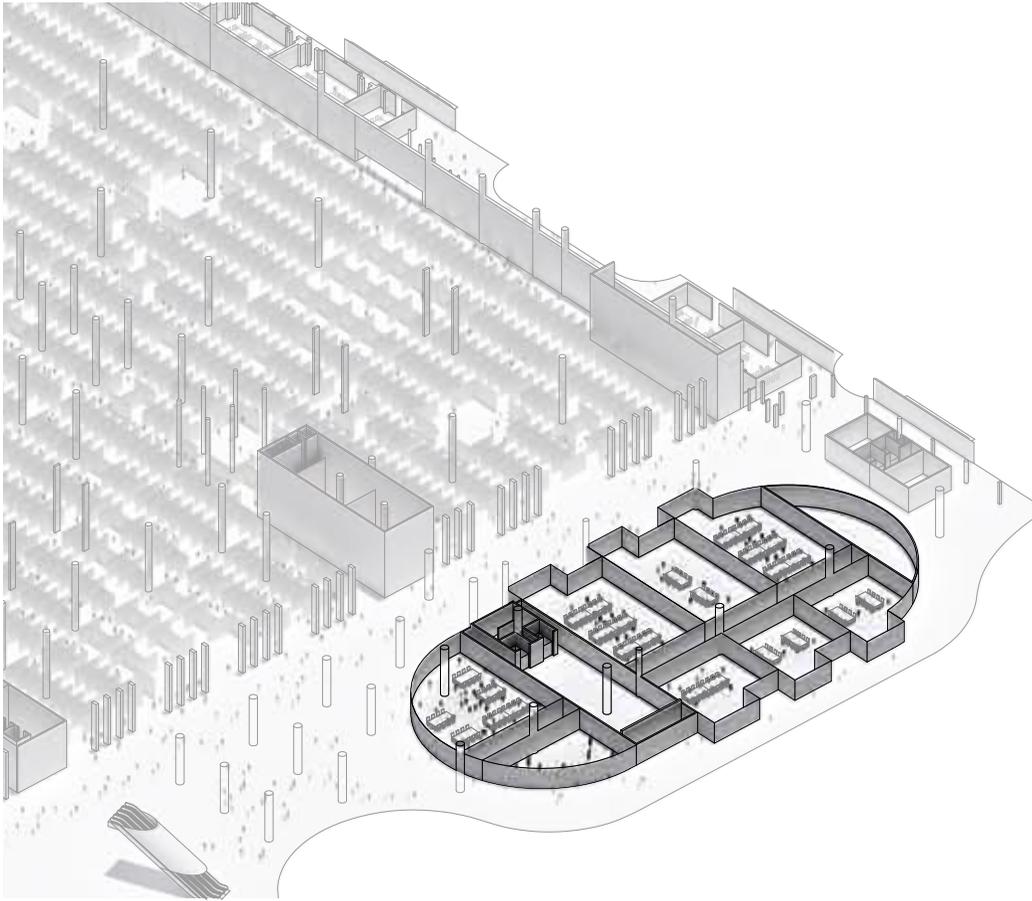
The reoriented halls provide increased flexibility in comparison with the existing facility. A series of temporary walls allows the exhibition area to be divided into halves, thirds, and a series of other configurations that meet all of the current setup needs while adding a new smaller exhibition split (90,000 sf). This increased flexibility will allow the MBCC to attract smaller groups that can load in or out while another is exhibiting. Together with increased capacity for meetings within the additional breakout areas, these new hall configurations will attract more, better quality groups and activate the building for more days throughout the year.



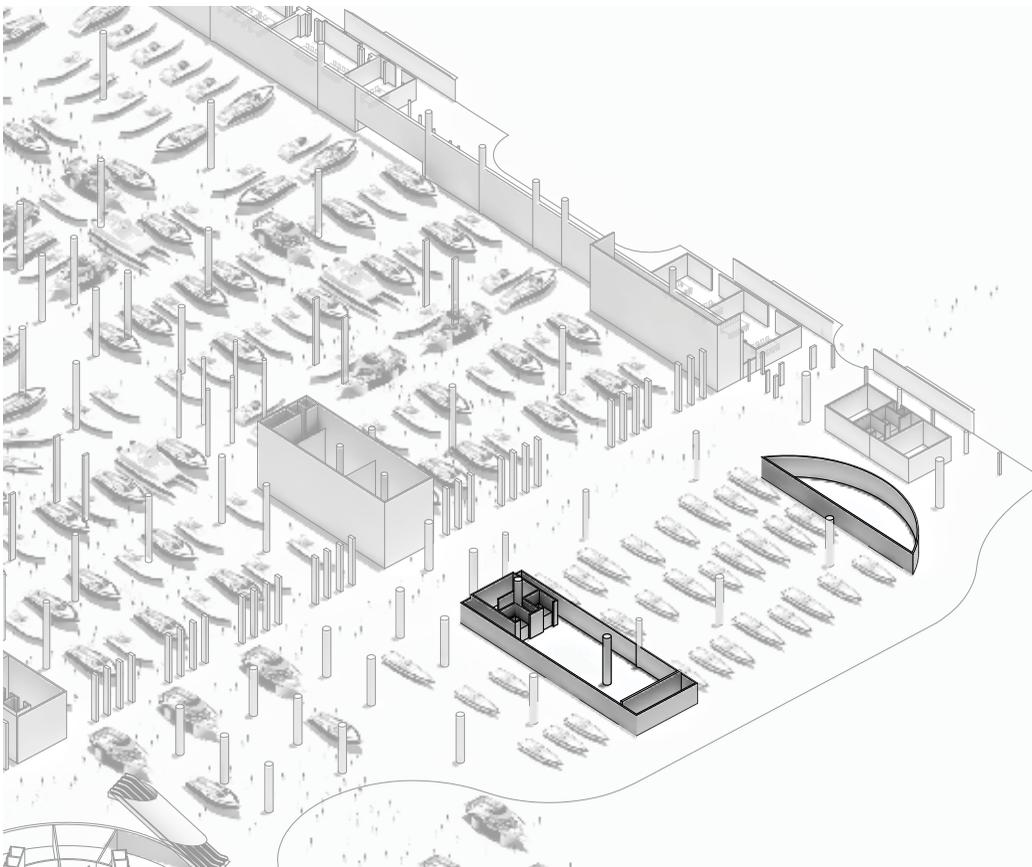
Meeting Rooms Conversion

Built within an area formerly occupied by exhibition halls, the main concourse can act both as a buffer between the activities inside and the city beyond, and as an extension of the halls themselves. With a clear height of 35 feet, the concourse can accommodate large art objects or boats, as well as additional exhibition booths.

Demountable walls also allow the south meeting rooms built within the former halls to collapse, freeing up additional space within the concourse for spill-out exhibition area. This opens nearly the entire south façade to the main concourse and the exhibition halls beyond and creates a seamless exchange between interior and exterior, city and convention hall. This expansion can continue into the plaza south of the Convention Center.



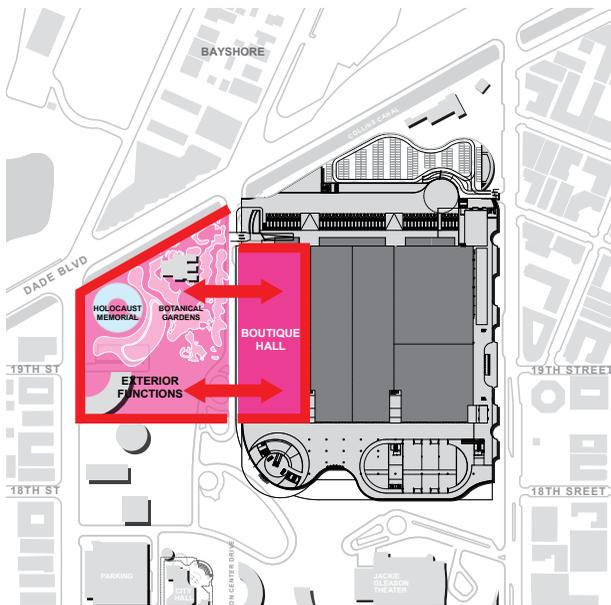
Meeting Rooms



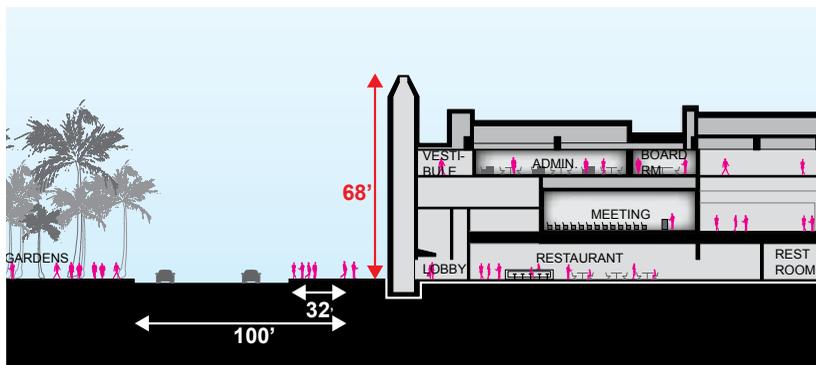
Meeting Rooms Collapsed

Hall C Extension to Gardens

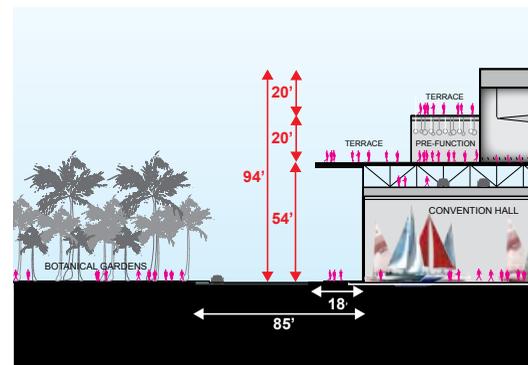
The climate and lush tropical environment of Miami Beach are currently underutilized assets of the current convention center. Our plan opens the building to its surroundings with views, accessible terraces and operable facades that allow users and visitors to remaining connected to the city around them. The new Hall C is unencumbered by loading or concourse areas on its west side, allowing it to open both visually and physically to the Botanical Gardens and the new park areas to its south. A glass façade with sliding operable hangar doors allows light to spill in and also exhibitions to spill out. The doors can also be blacked out to create a more conventional exhibition hall for groups who prefer that.



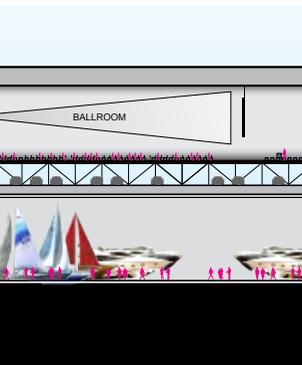
View of Hall C extending to Botanical Garden



Existing



Proposed



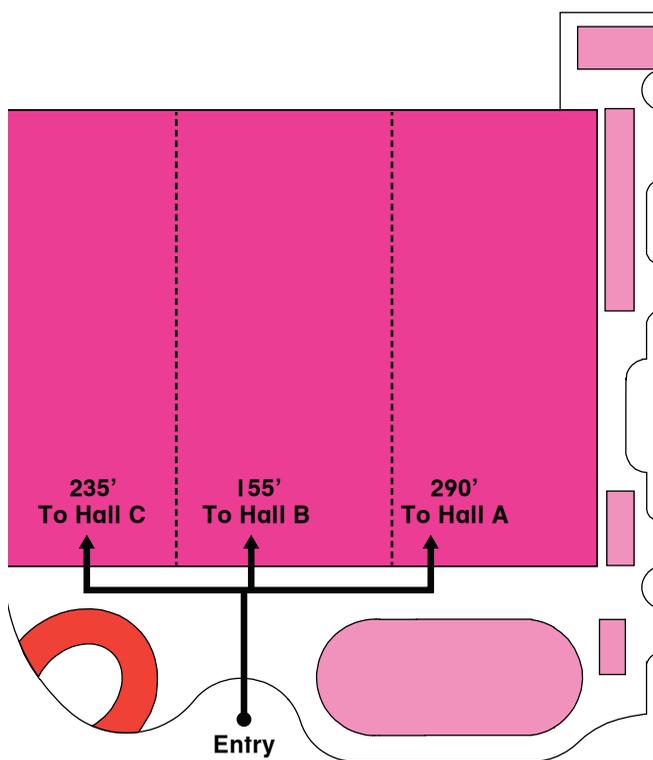
Interior of Hall C

Travel Distances

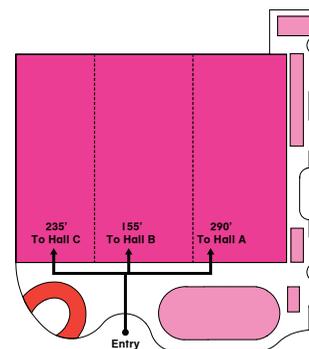
The new MBCC's compact, integrate design allows clear circulation from entry points to exhibition and meeting areas and easy communication between them.

The southern concourse acts as a central hub, providing immediate access to each of the exhibition halls from the main entry. Access to meeting rooms and ballrooms is also directed off of the main concourse, with banks of escalators at either end providing quick access to the upper levels.

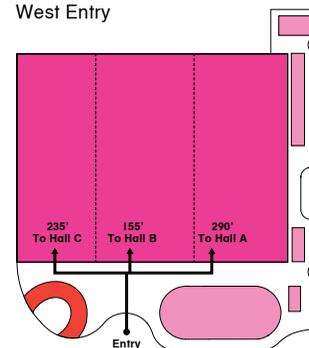
While the primary entry to the new MBCC is at the South, additional entries at the west and east end of the main concourse as well as along Washington Avenue allow for easy access from multiple points within Miami Beach. These additional entries also facilitate the use of the building by multiple simultaneous users.



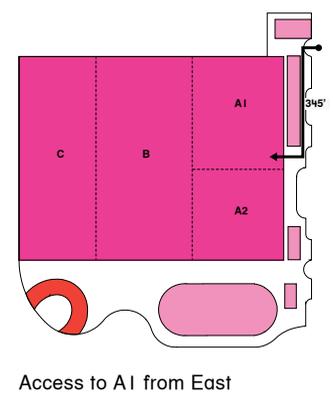
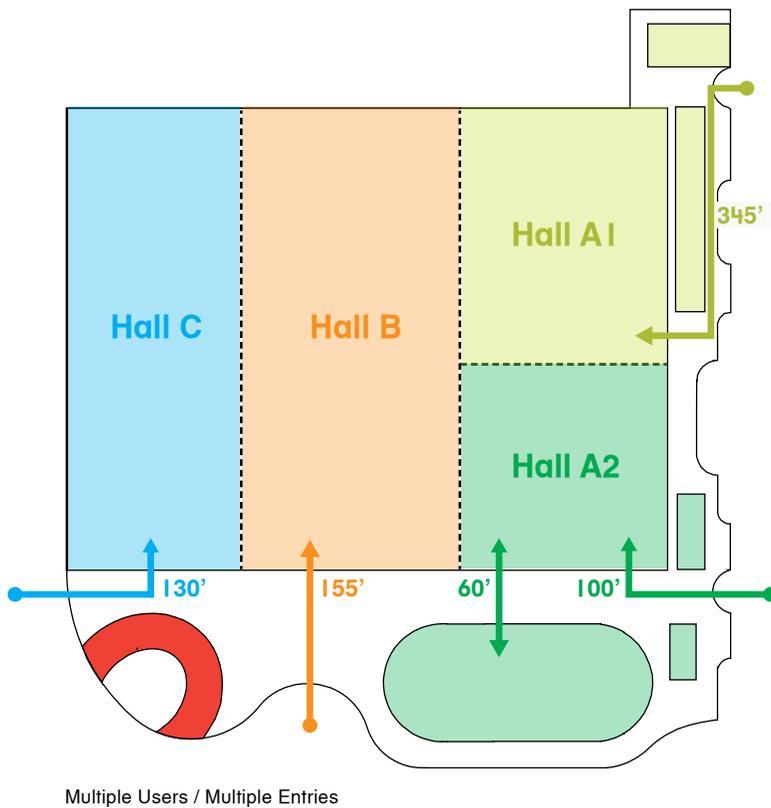
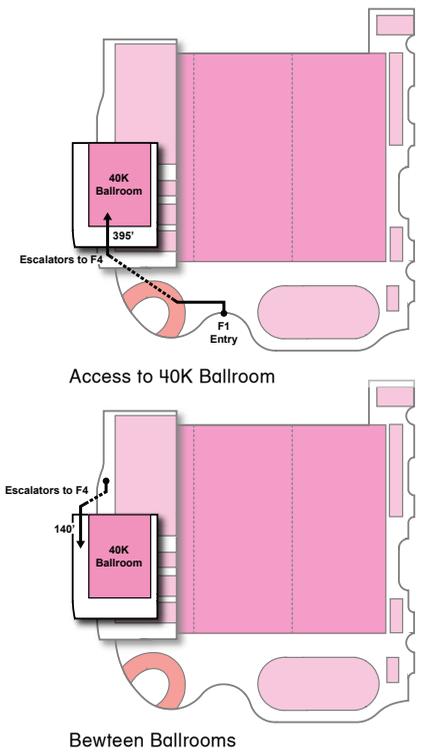
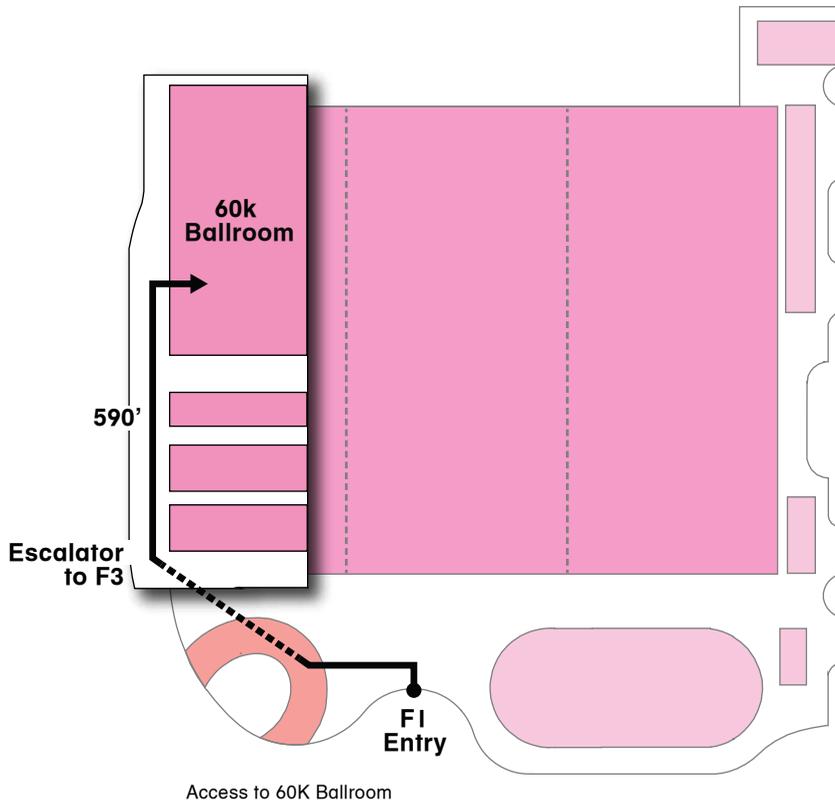
Main Entry



West Entry



East Entry



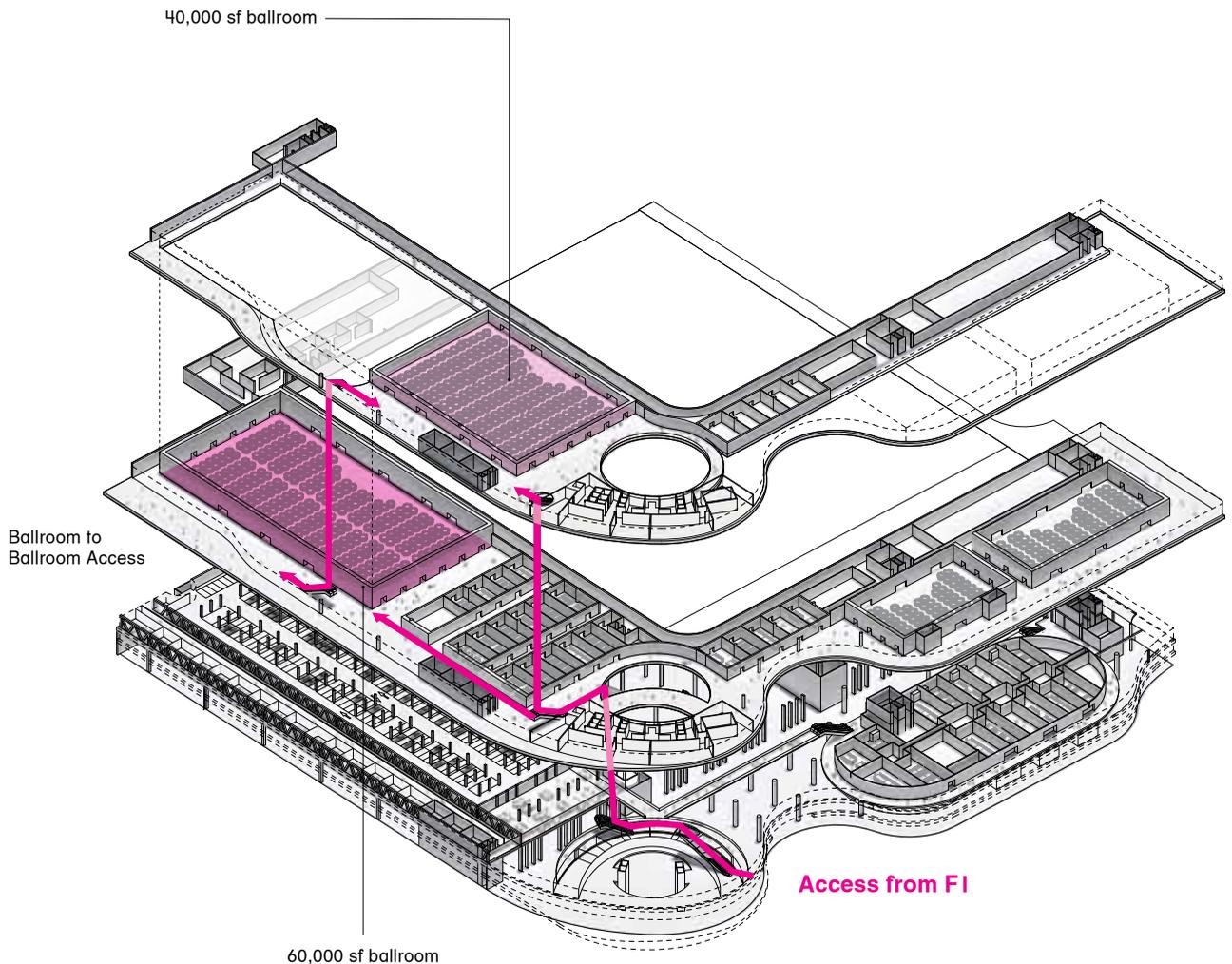




Two Ballrooms

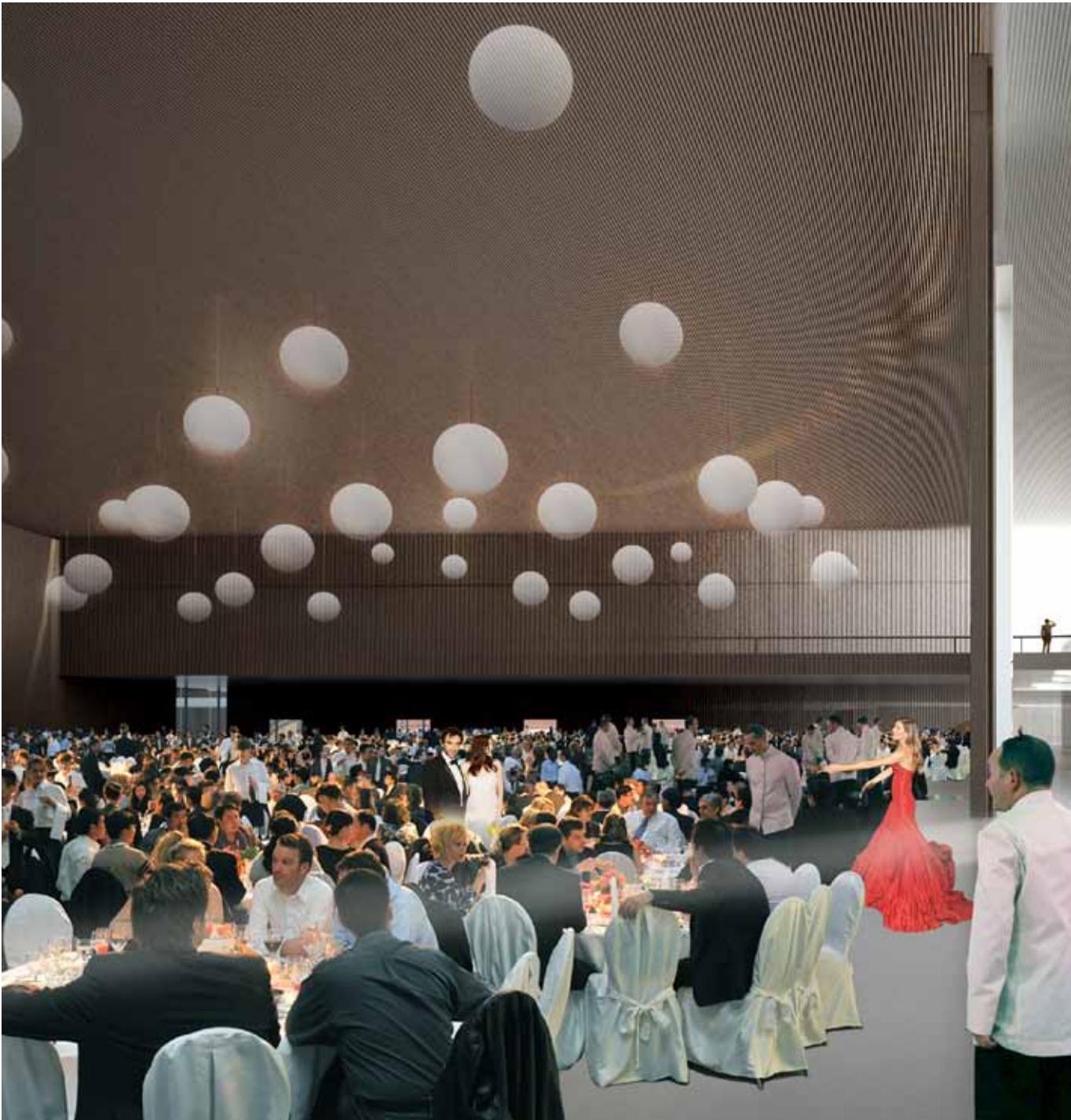
Above Hall C, two large ballrooms provide a unique set of potential configurations and uses. At Level 4 a 60,000 sf ballroom can house large banquets and other events. To the south of the ballroom, a set of meeting rooms provides breakout space directly adjacent. Above these meeting rooms, accessible via an escalator from the main Ballroom prefunction space, an easily

divisible 40,000 sf ballroom provides an important new asset for the MBCC. This 40,000 sf ballroom can be used either on its own, in conjunction with the meeting rooms below, or most importantly, as a general assembly space used in conjunction with the main ballroom for banquet dining.





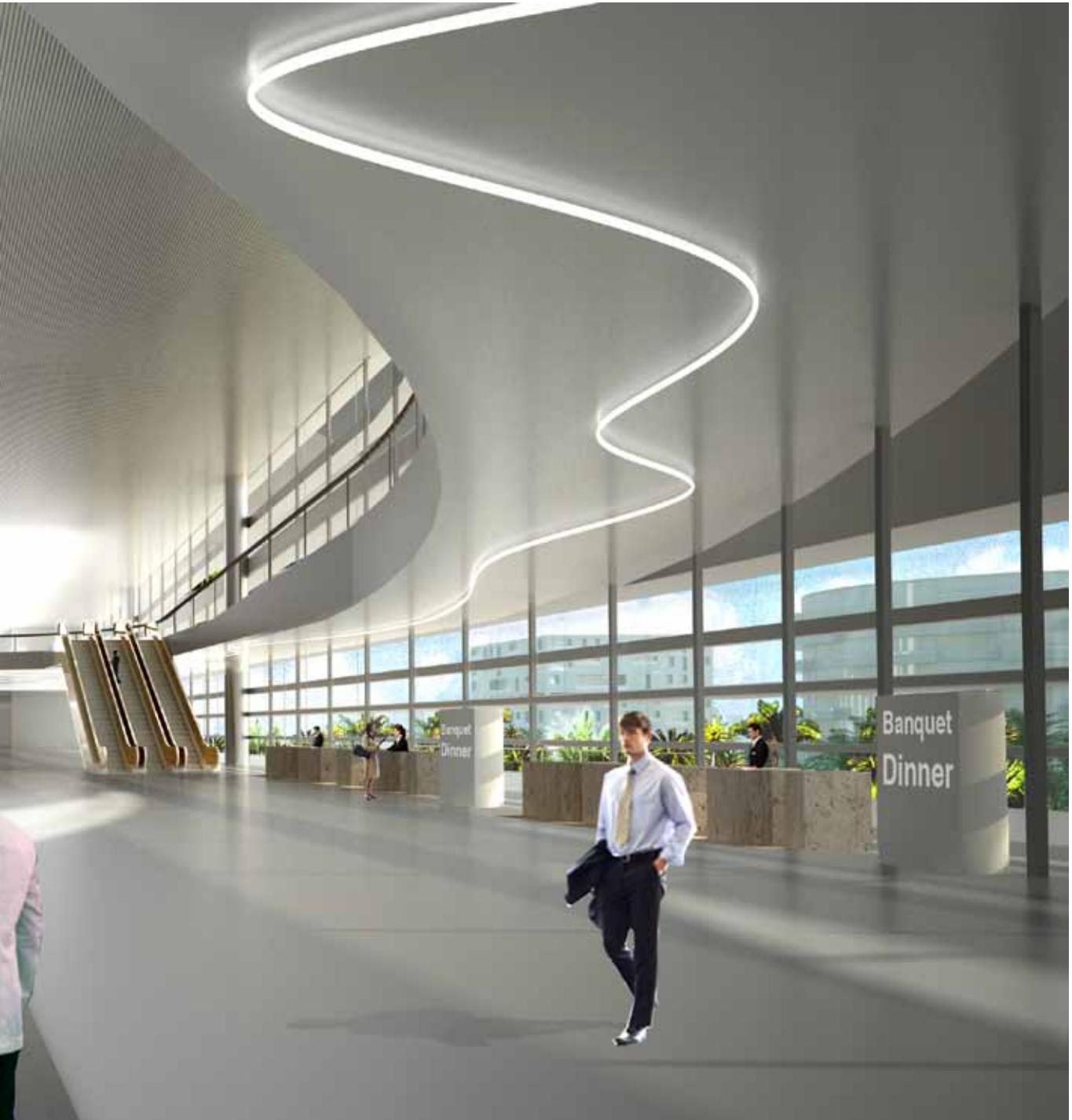
Ballroom



Both main ballrooms are close to the MBCC kitchen at the northeast corner of the building.

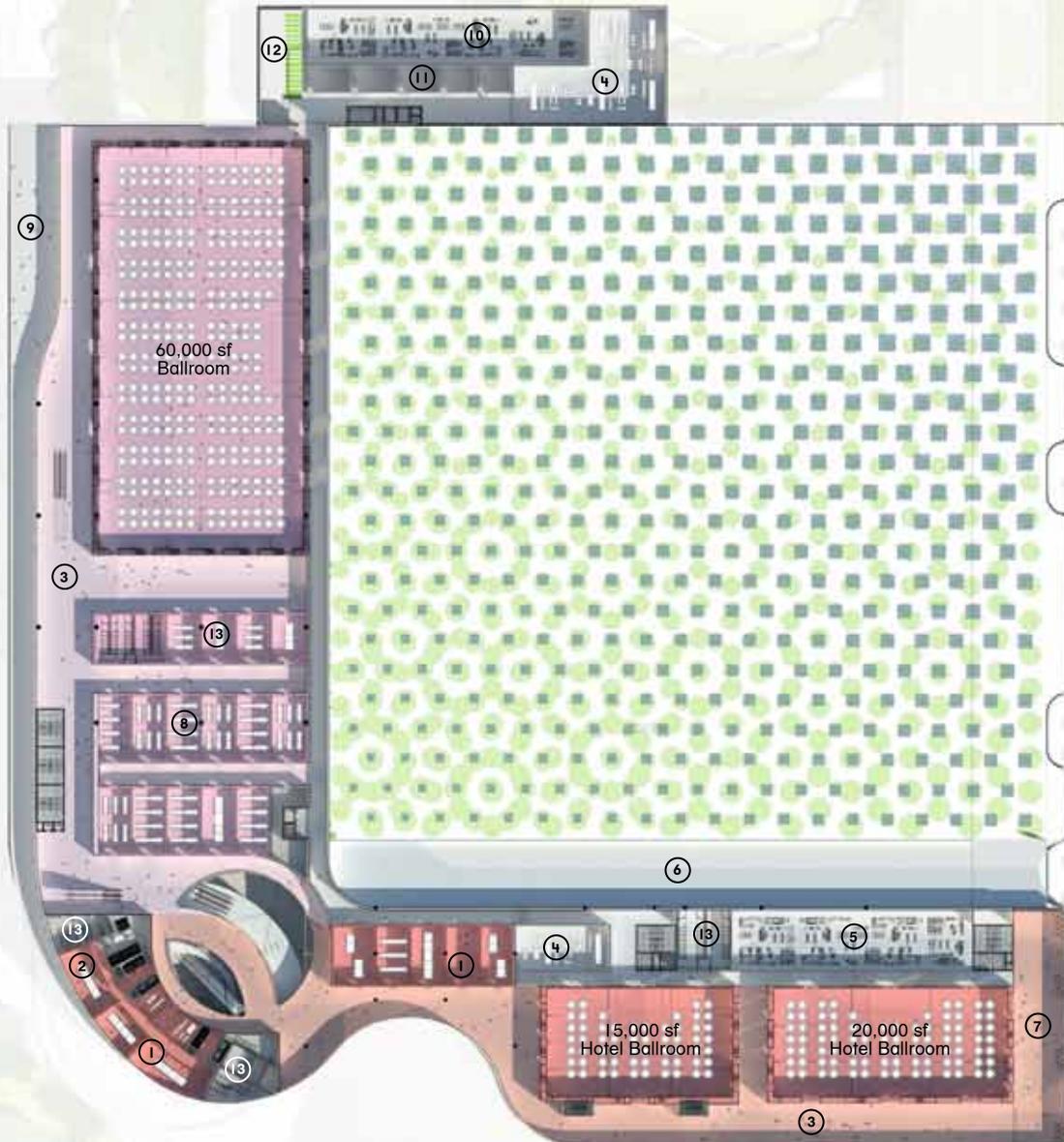


Each also has access to a exterior terrace overlooking the Botanical Gardens.



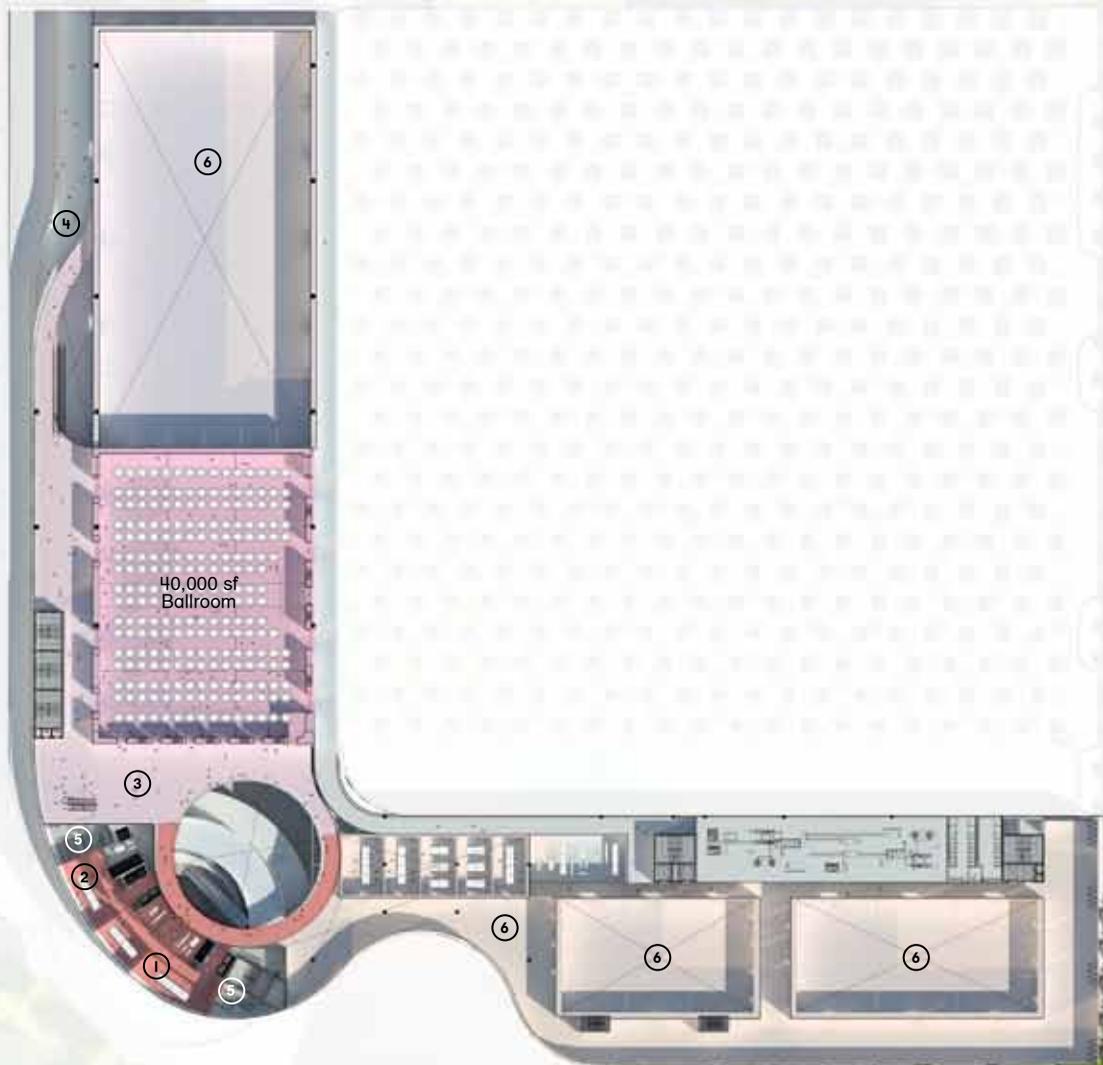
60,000 sf Ballroom

- 1 Hotel Meeting
- 2 Hotel Board Rm
- 3 Prefunction
- 4 Furniture Storage
- 5 Hotel Banquet Kitchen
- 6 Skylights Below
- 7 Wintergarden Terrace
- 8 CC Meeting
- 9 Terrace
- 10 CC Banquet Kitchen
- 11 Employee Lockers
- 12 Commissary
- 13 Toilets



40,000 sf Ballroom

- 1 Hotel Meeting
- 2 Hotel Board Rm
- 3 Prefunction
- 4 Terrace
- 5 Toilets
- 6 Open to Below



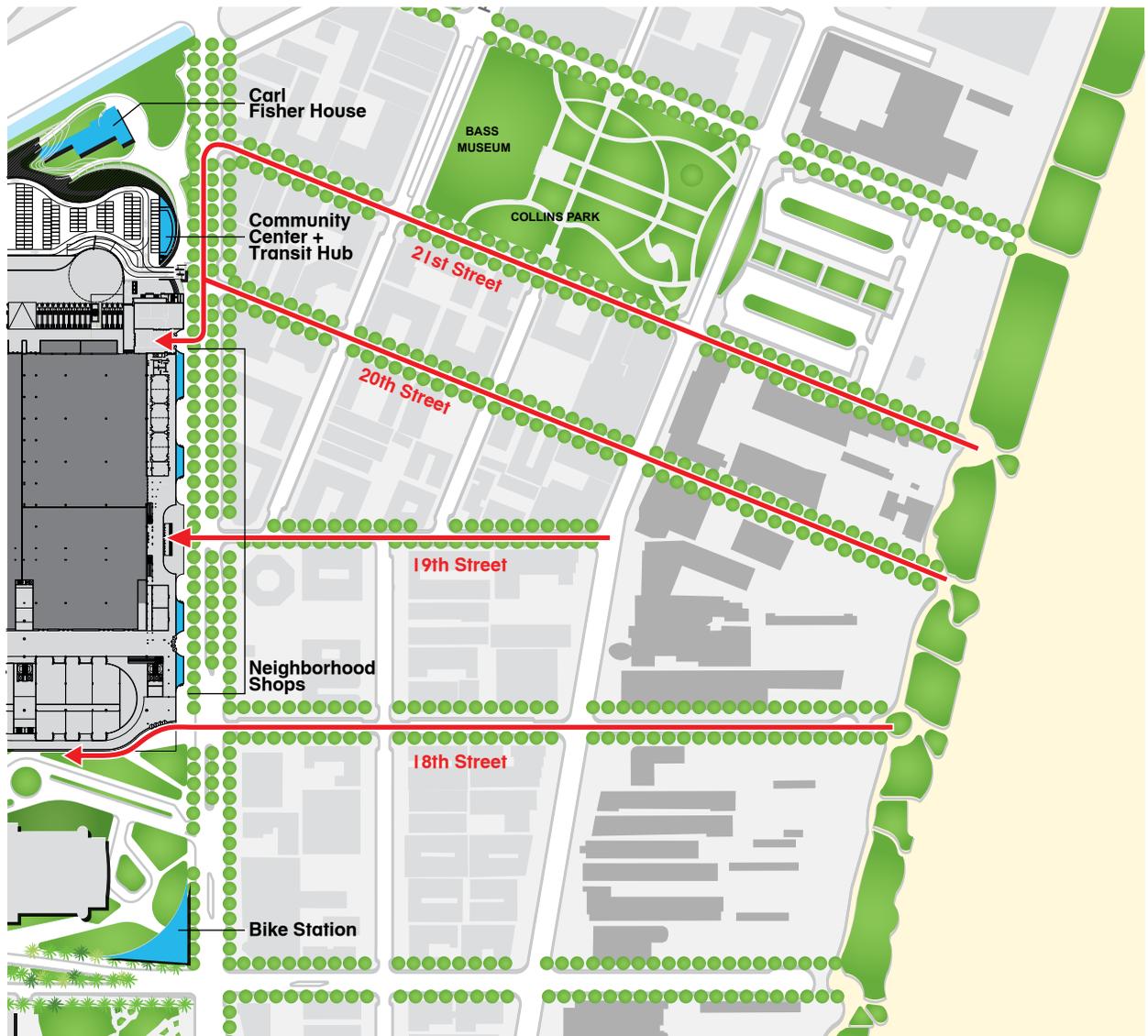
East Concourse

Since the last expansion of the MBCC, Washington Avenue has suffered from the proximity the building's East Concourse, with noise from bus drop-off during large events and an inactive, relentless façade during quieter periods. Although it currently provides an entry point for the hotels along Collins Avenue, the east side of the MBCC is ineffective at drawing pedestrians from the hotels because it does not align well with the existing streets and events on the west side of the hall are difficult to access from the east side.

Having heard from numerous MBCC users that connectivity to the Collins Avenue hotels was extremely important, we have maintained the entries and meeting areas along Washington Avenue, while modifying

the building's façade to improve the pedestrian experience along Washington and create clear entries into the building at 20th Street, 19th Street and 18th Street. In addition, small-scale retail space of approximately 1,500 sf each could provide activation along the street with neighborhood retail functions, small cafes or other amenities.

The new east façade eliminates the decorative elements of the current façade and further pulls the building back from the street where possible to create a 40 foot wide, landscaped pedestrian corridor along Washington that creates a strong connection between Collins Canal and Collins Park at the north to Lincoln Road at the south.

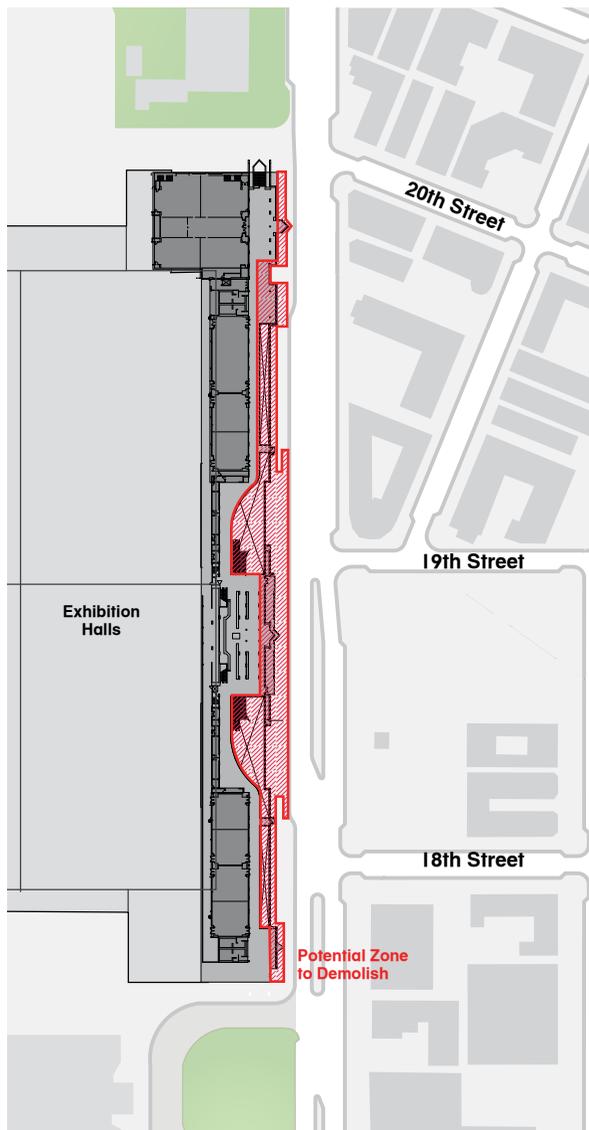


East Connection

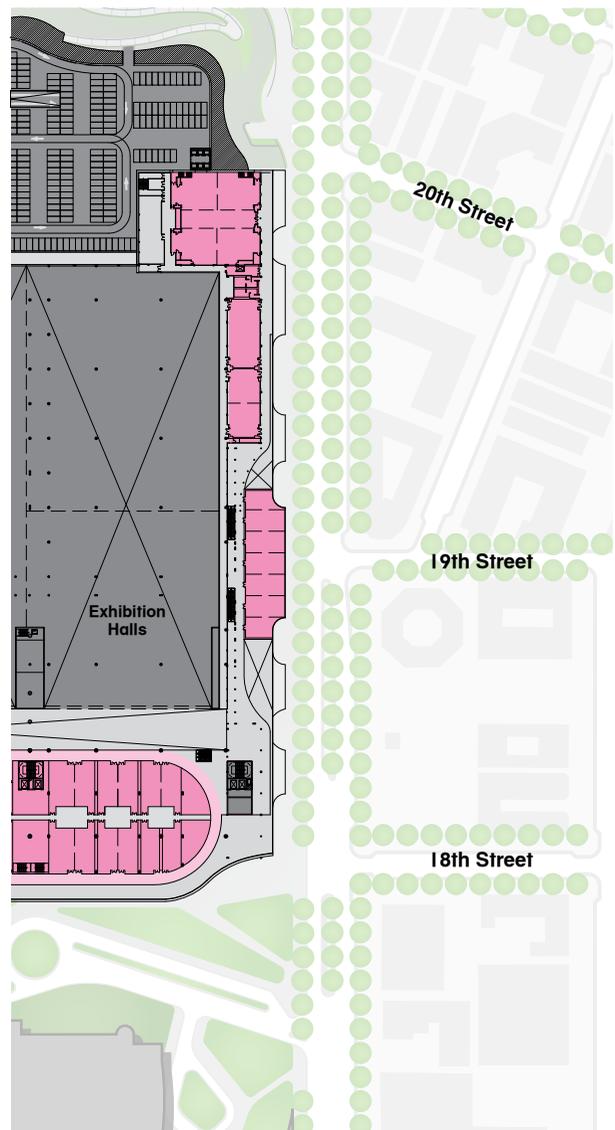


Cut Off Facade

By removing the decorative façade on the east side of the MBCC and reclaiming unused interior space, we can widen the pedestrian corridor along Washington.



Existing to Demolish



Proposed Renovation - Level 2

Promenade

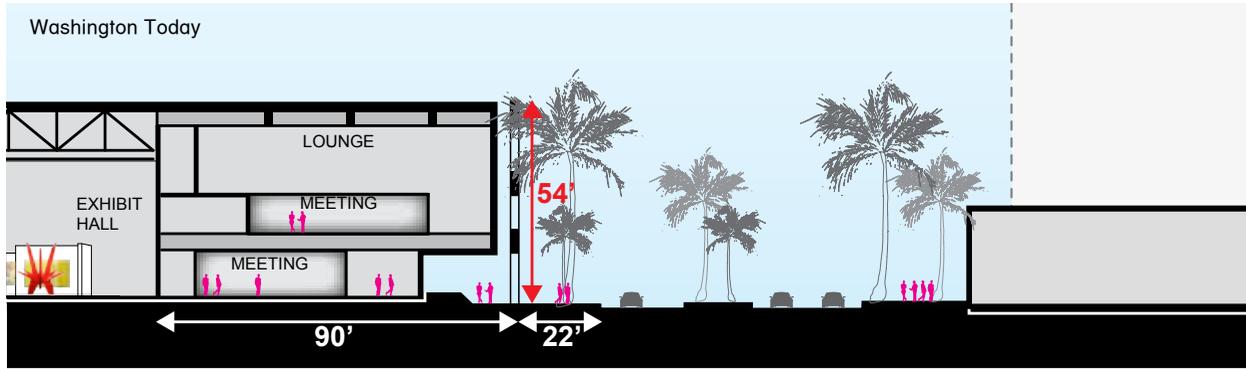


The new Washington Avenue Promenade leads from Collins Canal to the intersection of Washington and Lincoln Road.

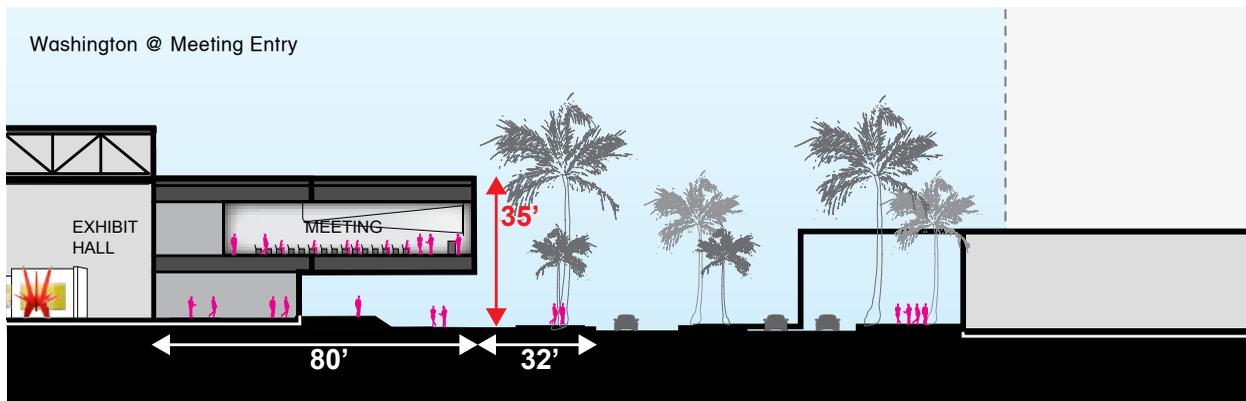
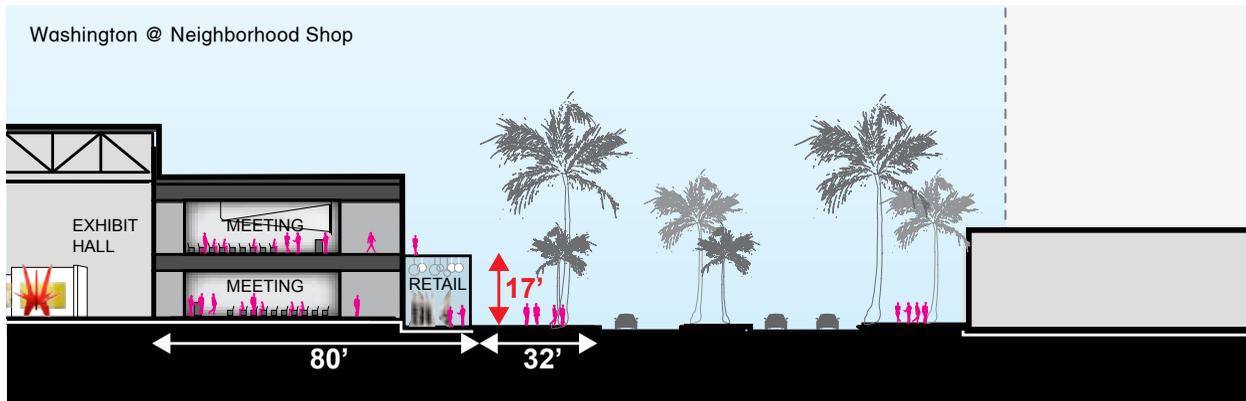
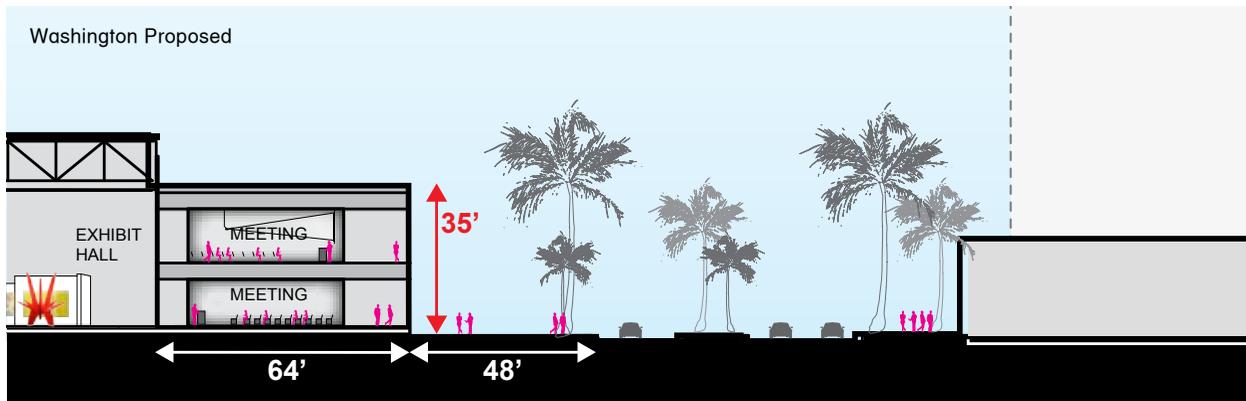


Existing situation

Existing



Proposed



Direct Connections to the Beach



Proposed View looking down 18th Street

At each of the major east-west streets, a new clear entry welcomes visitors into the convention center. At 18th Street, the building pulls back to allow views to the Plaza beyond.



View looking down 18th Street Today



Proposed View looking down 19th Street

At 19th Street the entry is realigned with the street, replacing an historical accident with a clear address. Meeting rooms at the second floor are pushed to the façade to gain access to light and mark the entry below.



View looking down 19th Street Today

Meeting Planner Quotes



Benny DiCecca, CEO, Wellesley Information Systems

Question: Would you be more likely to consider the Miami Beach Convention Center? “Definitely more likely. If it happened today, I’d have a meeting in there THIS YEAR!”



Wayneston Harbeson, VP, National Association of Television Program Executives

“You are right on track. I’ve been looking for something like this, outside of Vegas.” “The City needs this! I am looking forward to this.”



Karen VanderPloeg, Director of Travel and Meetings,
Daiichi Sankyo Pharmaceuticals

“When guests move between the Convention Center and hotel, we want them to feel like they are still in the hotel. We want them to experience the same quality and service...as if they haven’t left the (hotel) property.”



Wayneston Harbeson, VP, National Association
of Television Program Executives

“That is smart...very smart”



Tom Rado, Manager Global Accounts,
Helms Briscoe

“[This plan] is brilliant, absolutely amazing”.



Joan Mondt, Travel and Meetings,
Forest Laboratories

“This new plan will open up the destination to us.”



Academy of Osseointegration
ADVANCED THE VALUE OF INTEGRAL DENTISTRY

Gina Seegers, Director of Meetings & Conventions, Academy of Osseointegration

“Miami is often brought up as a potential site. Once I explain to the committees/boards the challenges, it is quickly removed from consideration. These concerns will no longer exist [if] the Center it is updated to this configuration.”



Lisa Almert, Meeting Management Consultant, Roche Diagnostics

“(A pharmaceutical) agenda changes often. We need flexibility with the space. The more flexibility, the better.”



Benny DiCecca, CEO, Wellesley Information Systems

“We like a lot more flexibility and the ability to get smaller as many times as possible.” — “We do tech conferences, many labs. So we often break down spaces.”

Jennifer Kist, Event Planner, Sirona Dental Systems

“Being able to see outside in an exhibit hall is something you don’t see very often. That’s very nice.”



Christina Hofmann, Global Meeting Manager, VM Software
 Eve Schmitt, Senior Manager Global Sourcing & Vendor Relations, VM Software

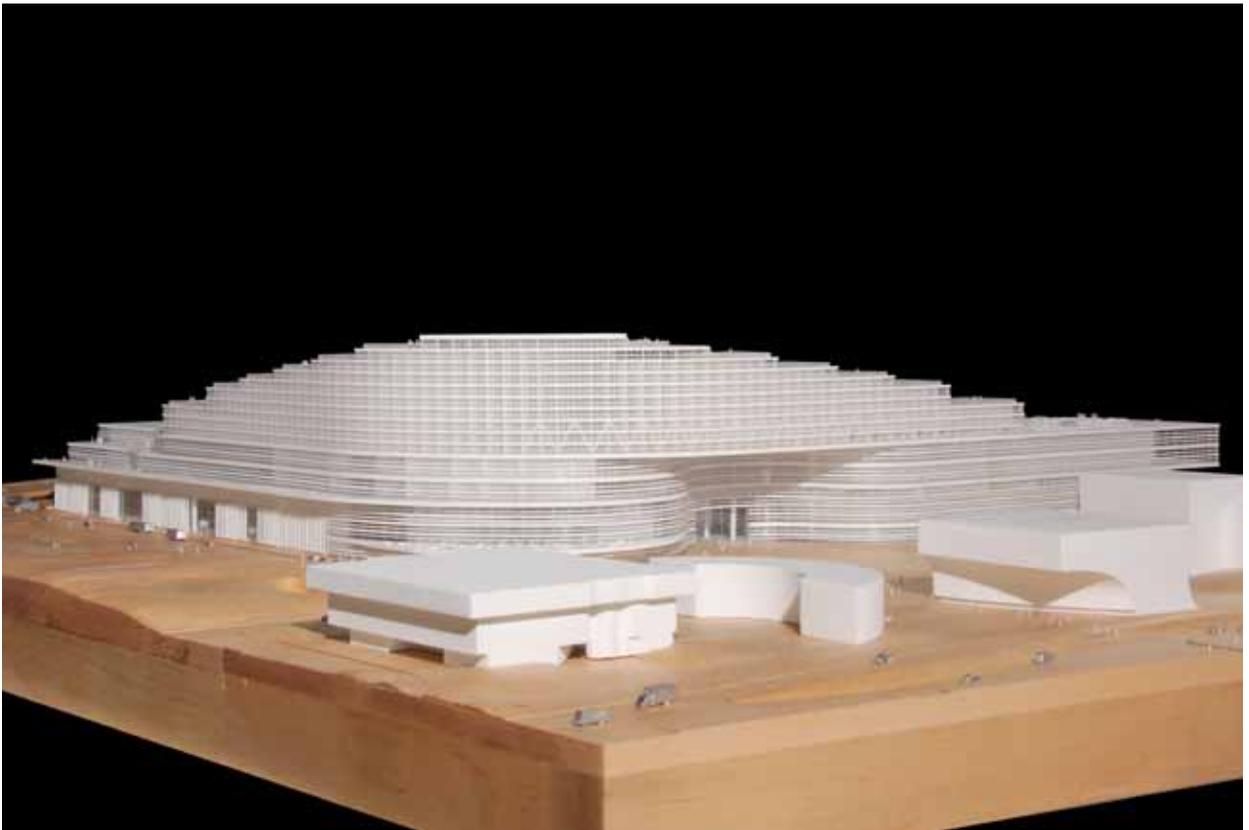
“We love the idea of hosting an outdoor event in the Botanical Gardens or in Soundscape Park, utilizing local talent. Our attendees love the local connection.”

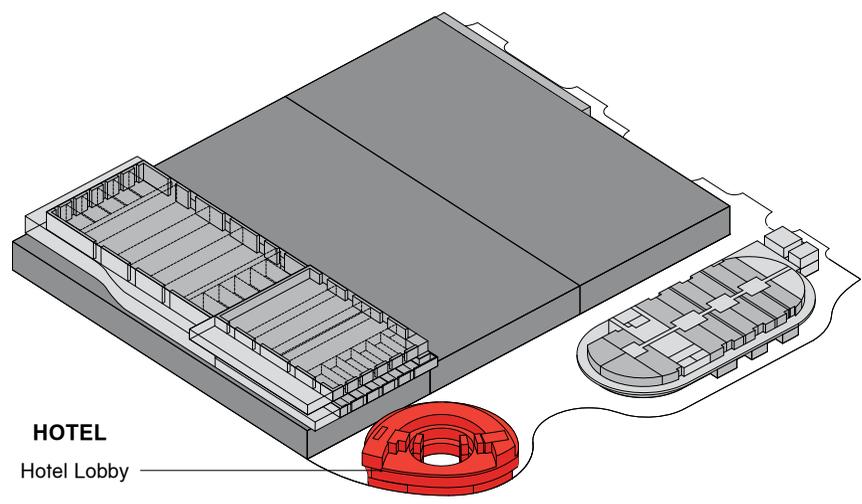




Hotel Stack

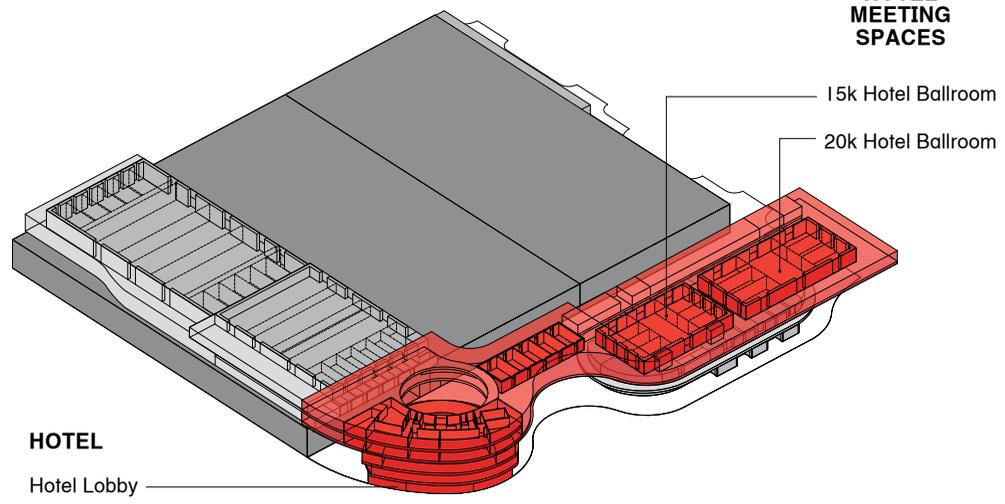
The hotel acts as a hinge point between the south and west sides of the Convention Center, providing easy access for guests to the ballrooms, meeting areas and the exhibition halls. The Hotel lobby is accessed from the southwest corner of the building with two restaurants and a hotel bar surrounding an atrium space on two levels. Hotel meeting facilities are located above the Hotel lobby and on the south side of Level 4. Above these meeting rooms is an expansive pool deck. An additional public terrace at the top of the hotel features a restaurant and rooftop pool.





HOTEL

Hotel Lobby



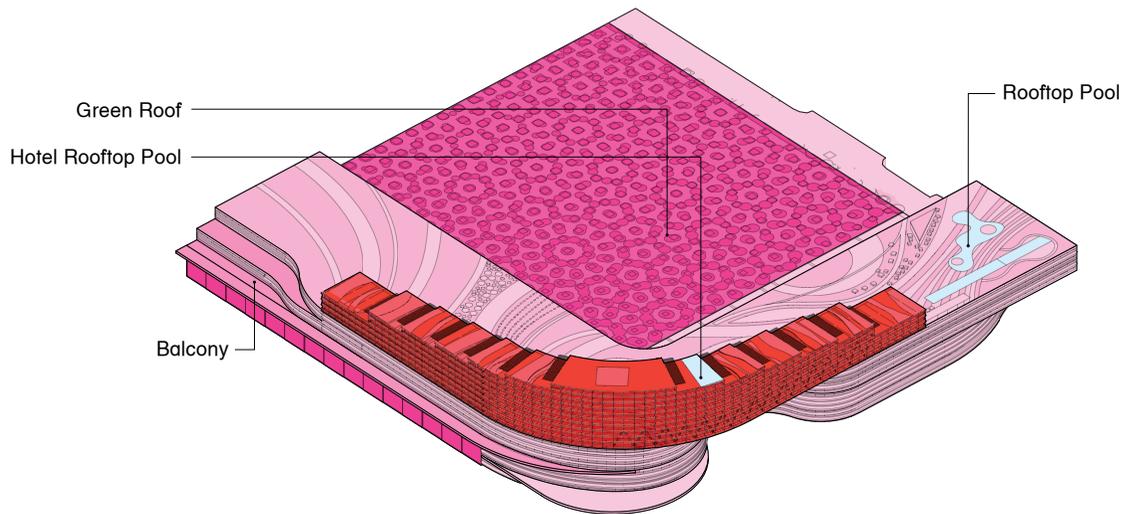
**HOTEL
MEETING
SPACES**

15k Hotel Ballroom

20k Hotel Ballroom

HOTEL

Hotel Lobby



Green Roof

Hotel Rooftop Pool

Balcony

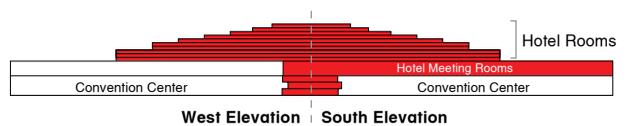
Rooftop Pool

Hotel



Hotel Lobby

The hotel entry and lobby sit at the southwest corner of the MBCC. A restaurant and hotel bar ring the lobby at the ground floor, while the hotel's 3 meal restaurant is located on the second level with access to an expansive terrace over the porte-cochere.



Views

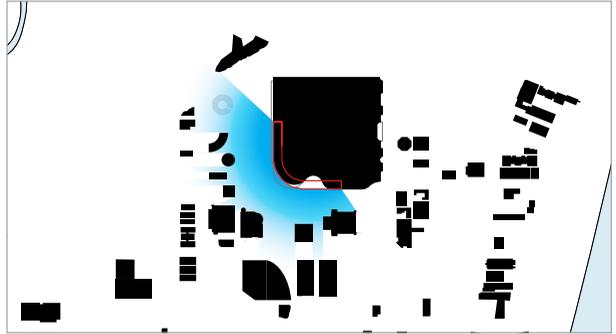
As in the Convention Center, our goal in designing the hotel is to take maximum advantage of its location within Miami Beach. The hotel room floors begin at Level 6, above the convention center floors. This lifts all hotel rooms above the buildings immediately adjacent to the Convention Center increasing the value of the rooms and enhancing the experience for visitors to the hotel and the MBCC.



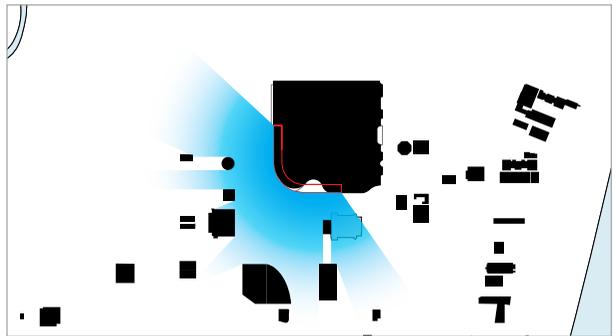
Room Interior



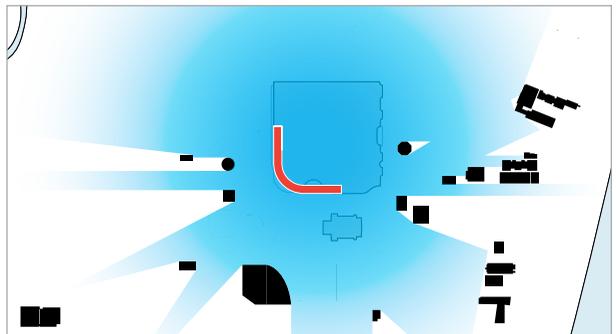
25'



50'

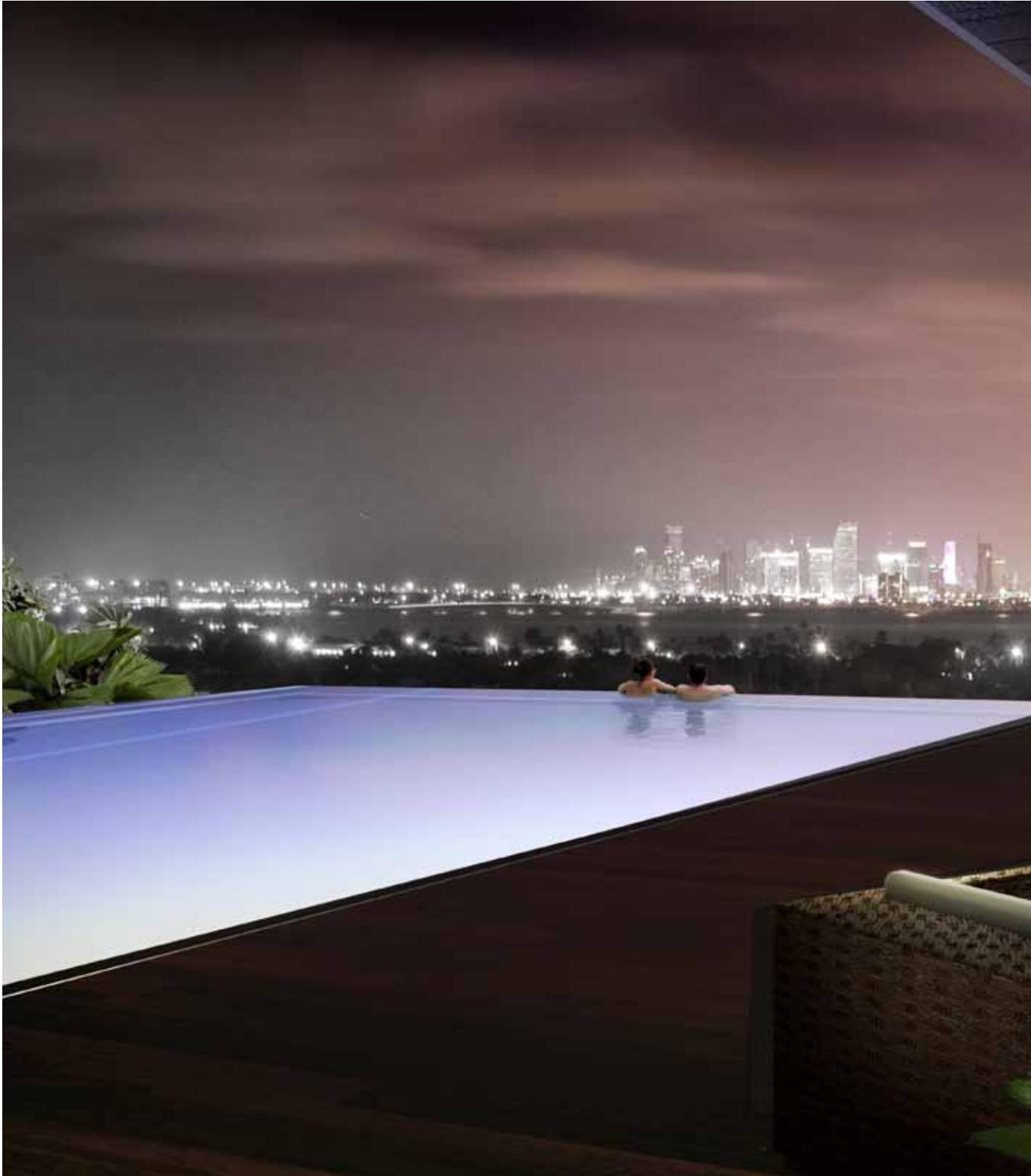


75'



100'

Pool deck



At the top of the Hotel, a restaurant and bar face a public terrace and pool deck.

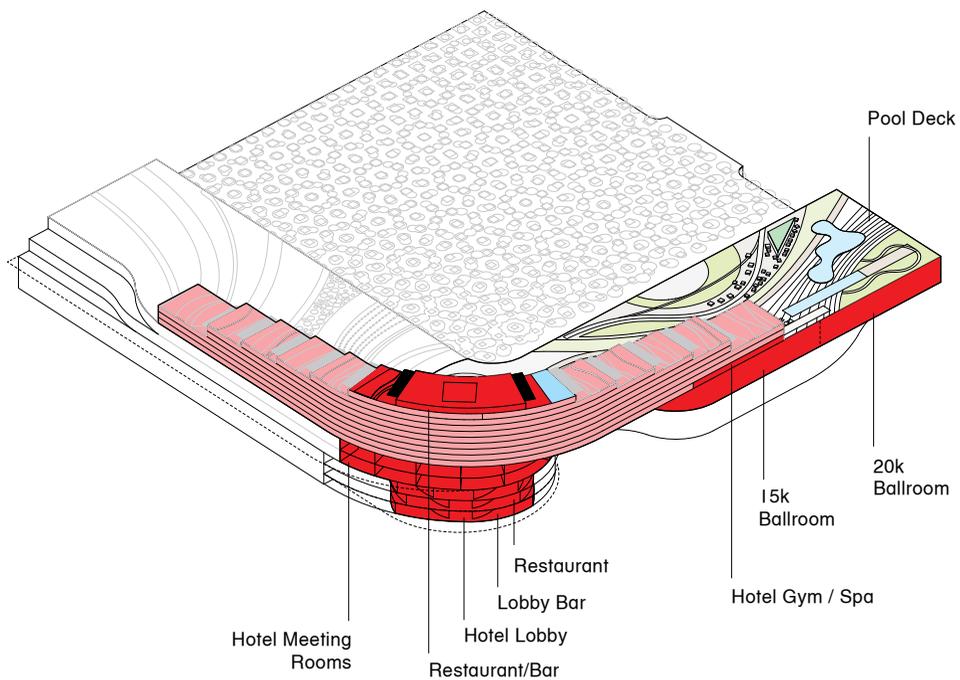


Hotel

Hotel Amenities

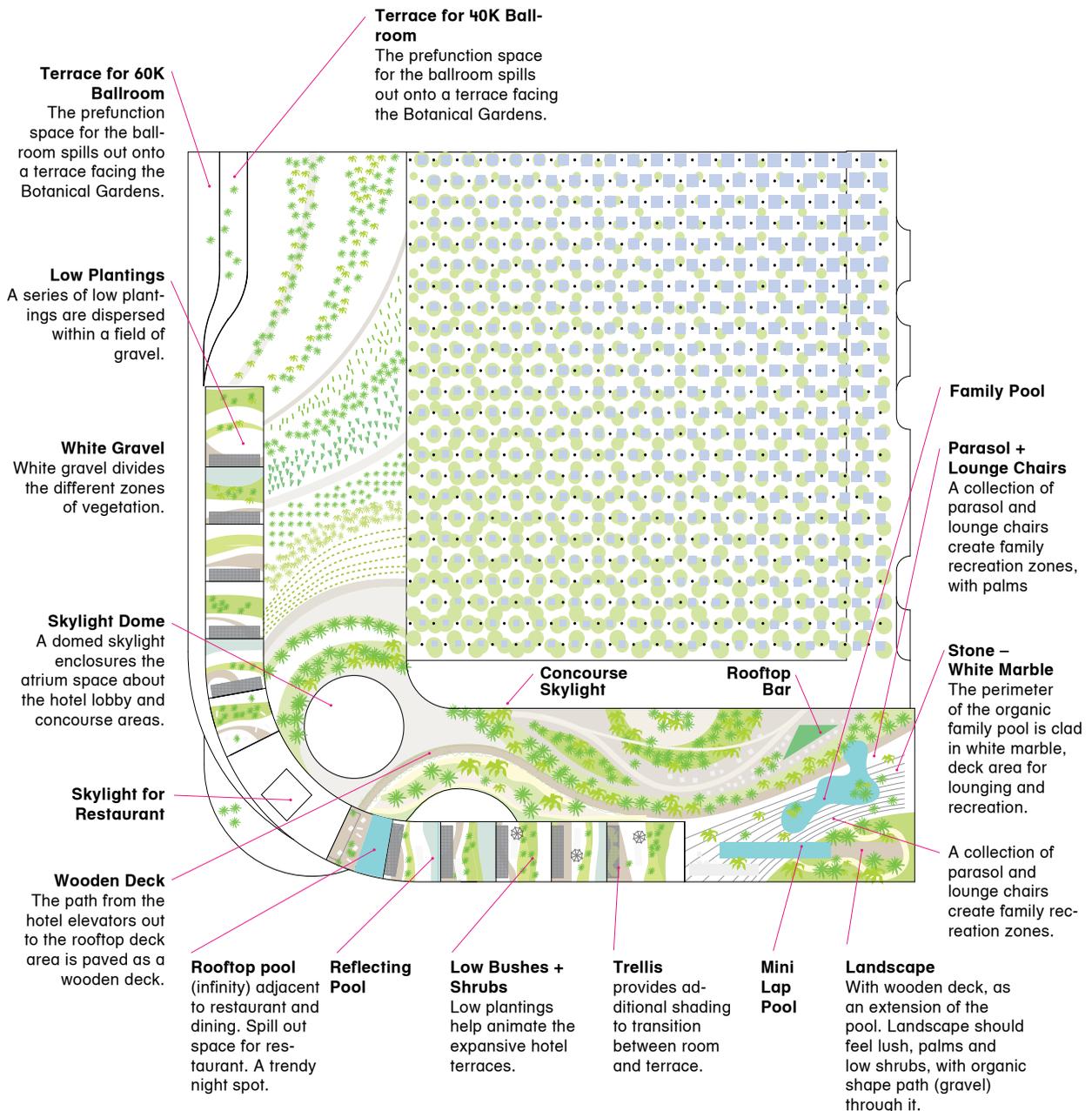
Like the masterplan itself, the new convention center Hotel unites the resort amenities of Miami Beach with the convenience of being close to Miami Beach's urban center. Amenities at the hotel include a 60,000 sf rooftop deck with ocean views down 18th Street, spa areas,

meeting spaces and ballrooms, as well as restaurants around the hotel atrium and adjacent to the rooftop pool. These amenities and the quality of the hotel will make it attractive to users of the MBCC as well as visitors to Miami Beach.



Hotel Roof

The roof of the MBCC is activated with occupiable roof terraces, as well as areas of planted green roof and two large swimming pools.







Synergy within the Convention Center



Typically, convention centers sprawl outward, not only imposing on the city around them, but also dispersing the functions within. The elongated travel distances that result impede operations and complicate the experience of the convention center visitor. The layered program of the new MBCC not only allows the building

to be compact, it also creates a new juxtaposition and proximity between its different components. Meeting rooms, ballrooms and the Hotel are close to one another. Their arrangement around the central concourse and the hotel atrium creates visual links between them as well as the plaza to the south.



Convention Center and Hotel Plans

The new southern concourse area is built within a portion of the existing halls. With 35 foot ceilings, this area can easily serve as an extension of the exhibition halls when needed, providing 75,000 sf of additional space. The ground floor meeting rooms at the south utilize a state-of-the-art wall system enabling them to collapse when needed, leaving only minimal support spaces. That can further increase the zone of the Flex Concourse area by 55,000 sf for a total of 130,000 sf of additional indoor exhibition area.

Ground Floor

Convention Center

Hall A = 172,500 sf

Hall B = 179,700 sf

Hall C = 148,700 sf

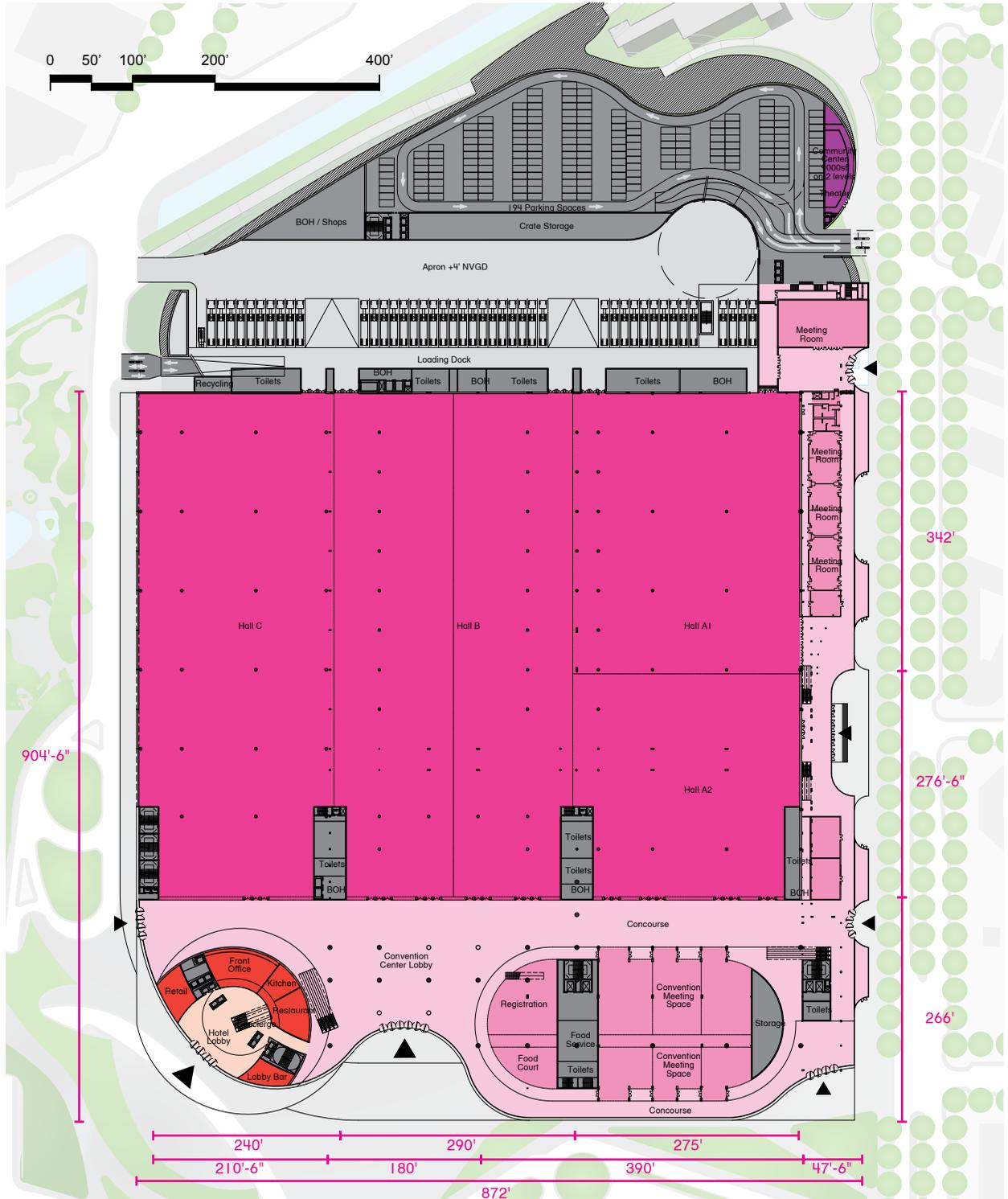
Meeting Rooms = 57,500 sf

35' clear Concourse

Flex Space = 75,000 sf



F1



CC and Hotel

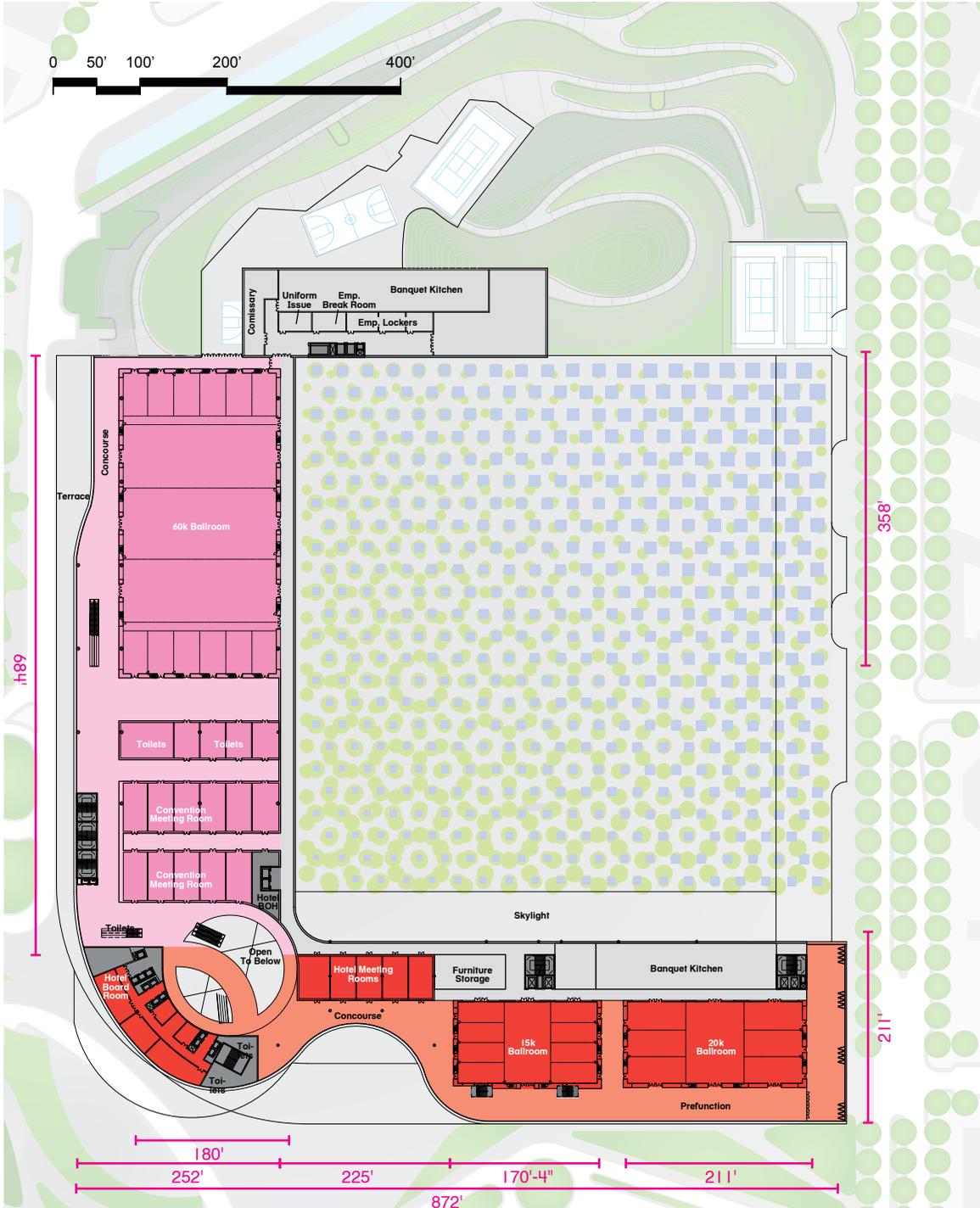
4th floor

Convention Center

Meeting Rooms = 25,000 sf
 Ballroom = 61,300 sf
 Exterior Terrace = 11,150 sf

Hotel

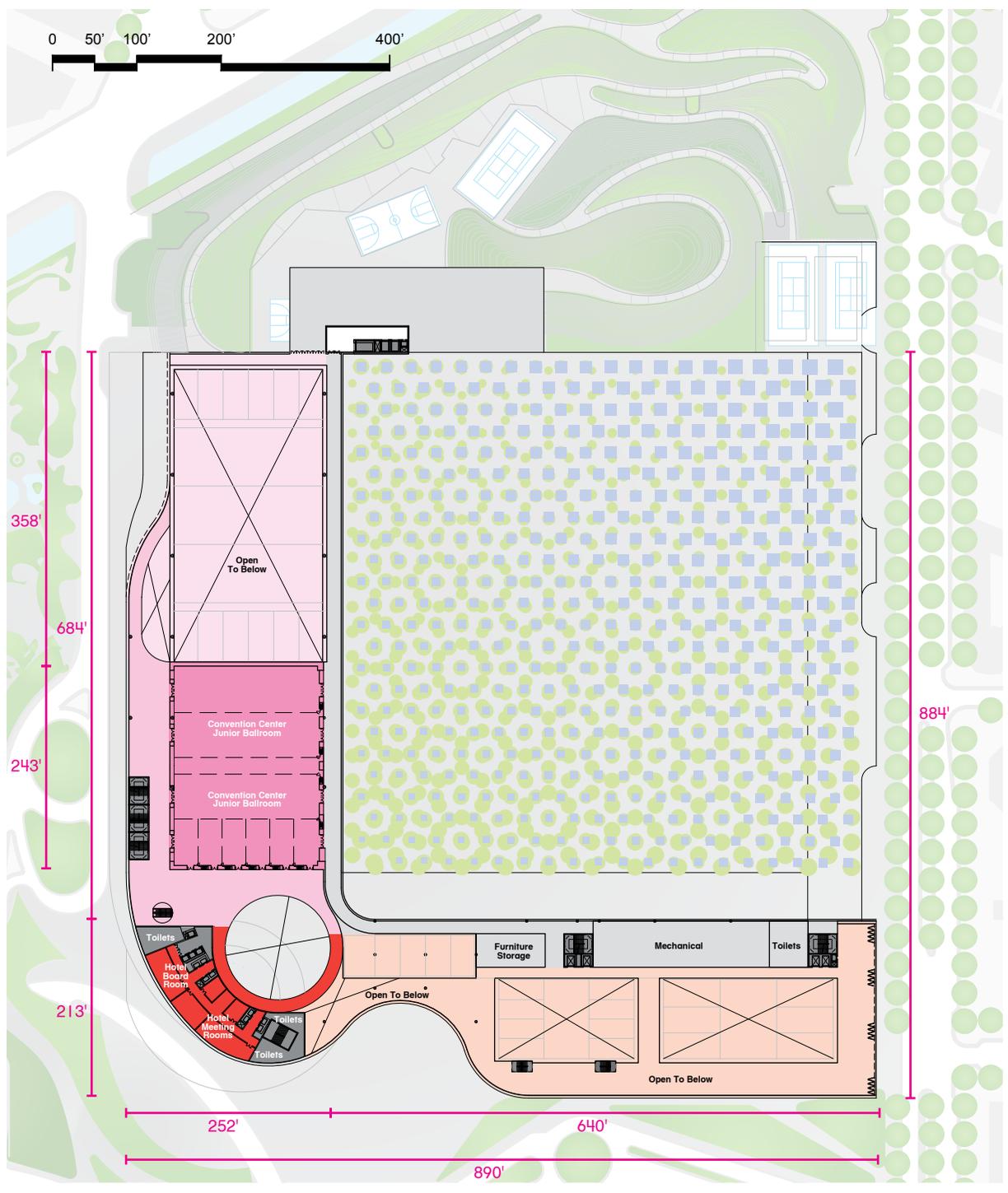
Meeting Rooms = 15,000 sf
 Ballroom = 15,000 sf + 20,000 sf



5th Floor

Convention Center
 Ballroom = 41,100 sf
 Exterior = 6,500 sf

Hotel
 Meeting = 6,000 sf



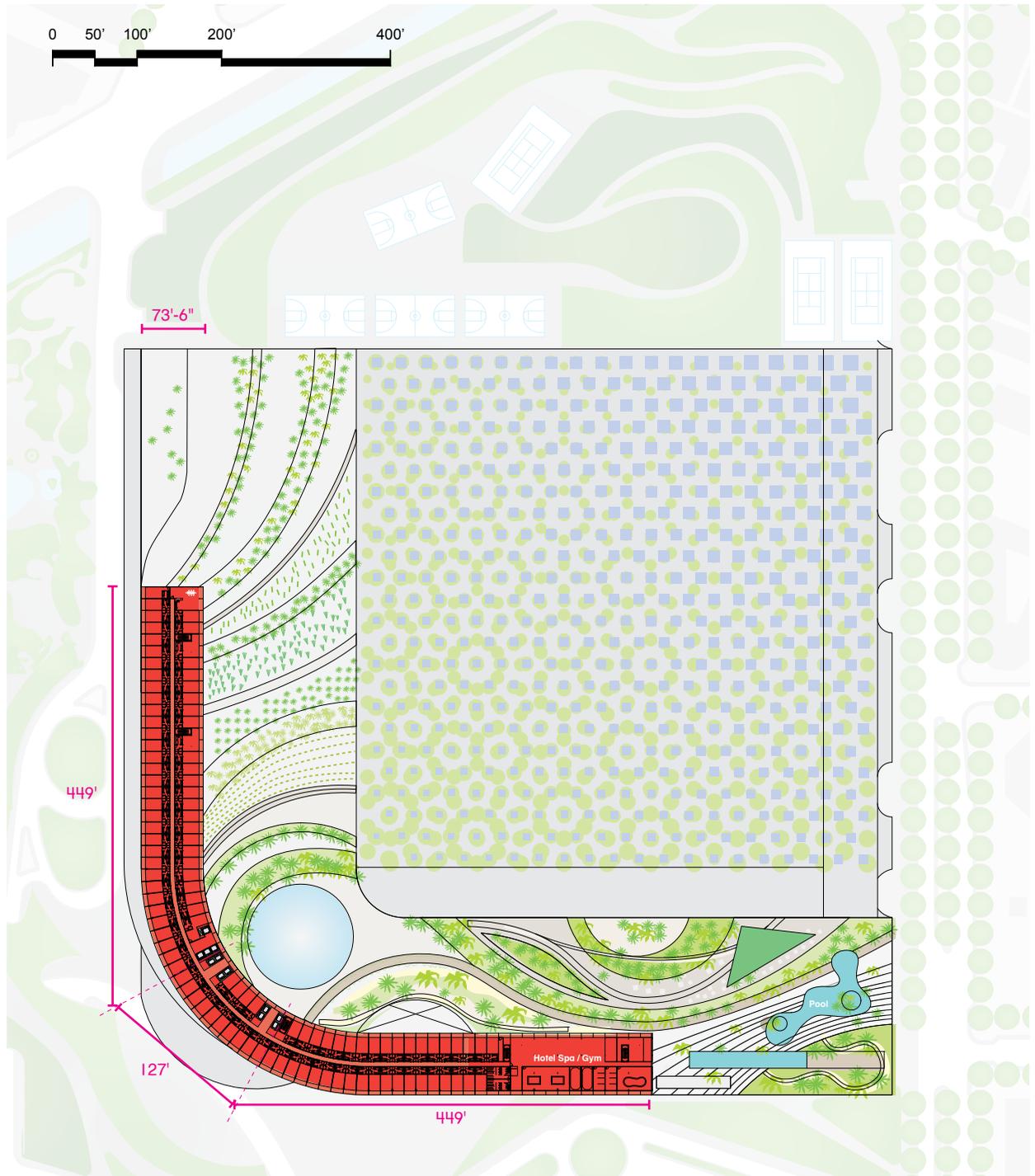
6th Floor

Hotel – Amenity Level

Deck Space = 60,000 sf

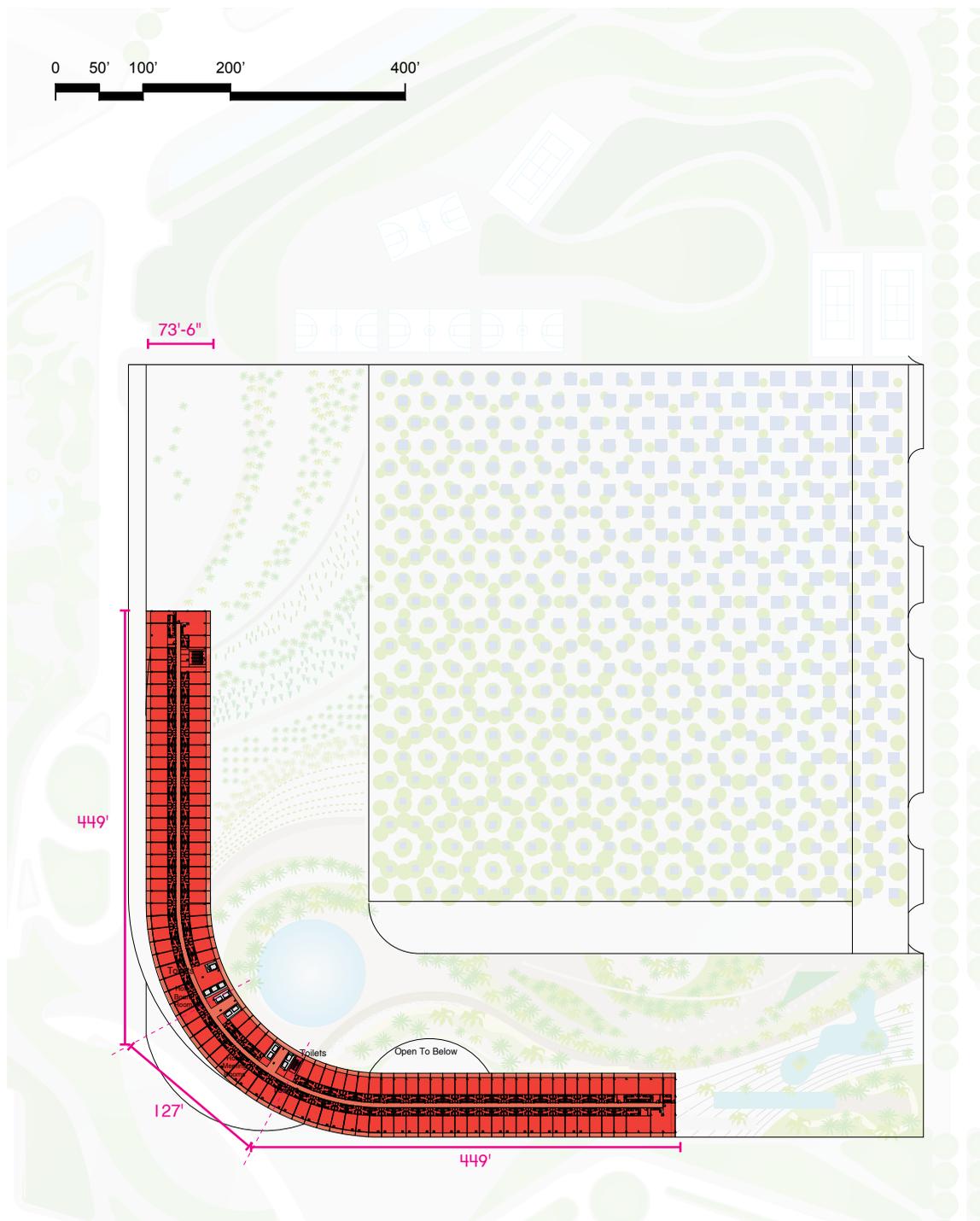
Pool = 5,000 sf

Health Club and spa = 12,000 sf



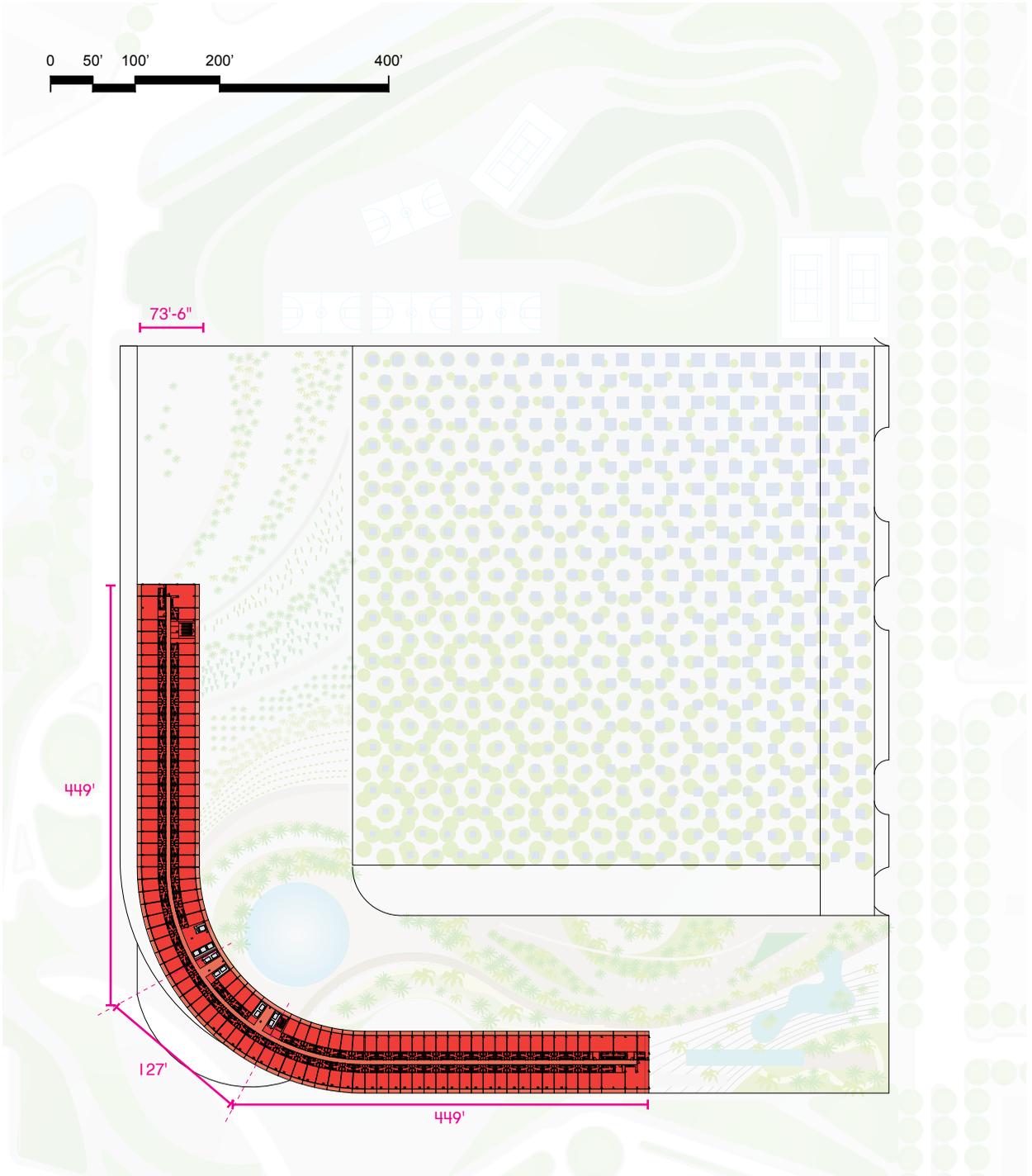
7th Floor

F7



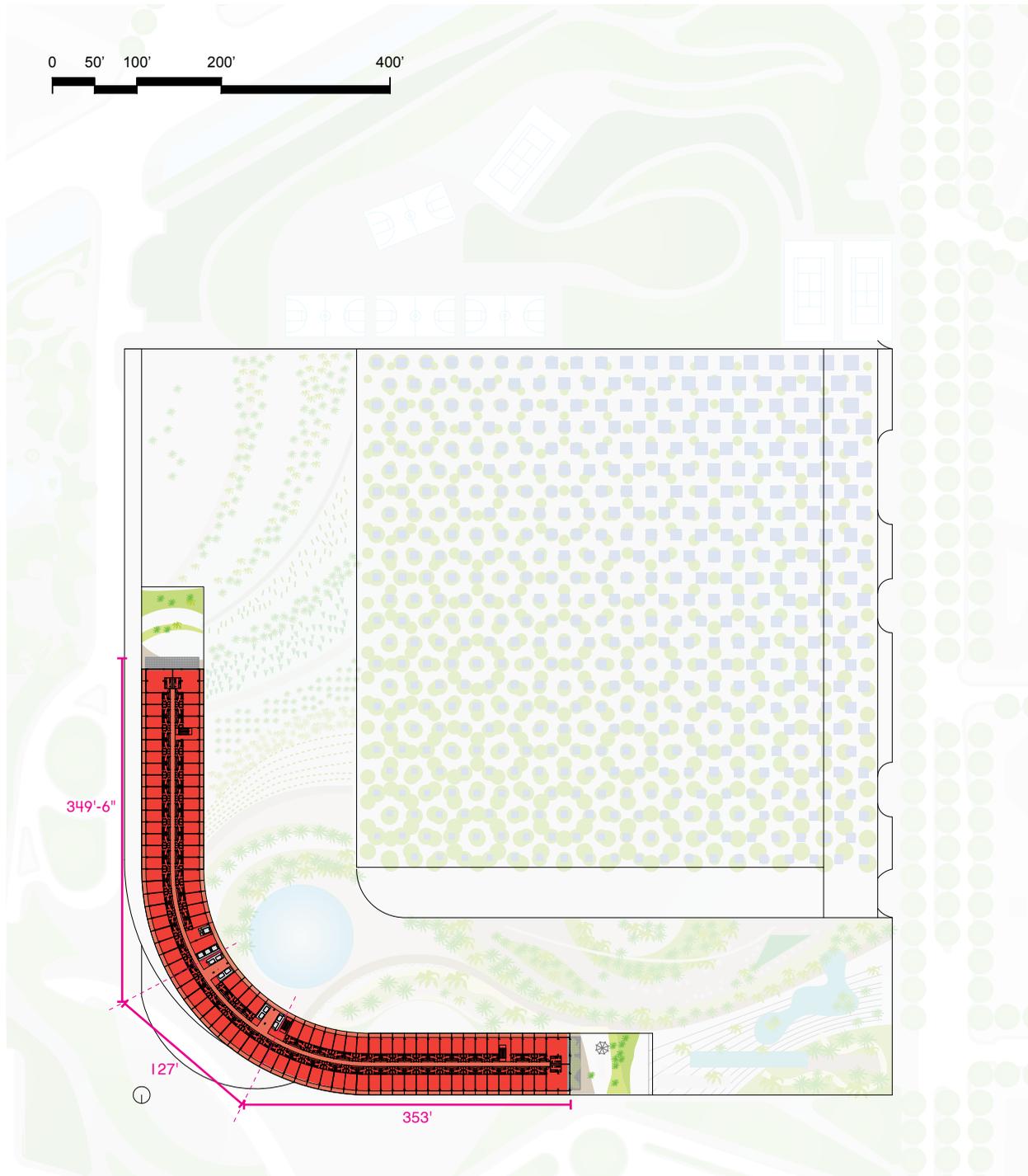
8h Floor

F8

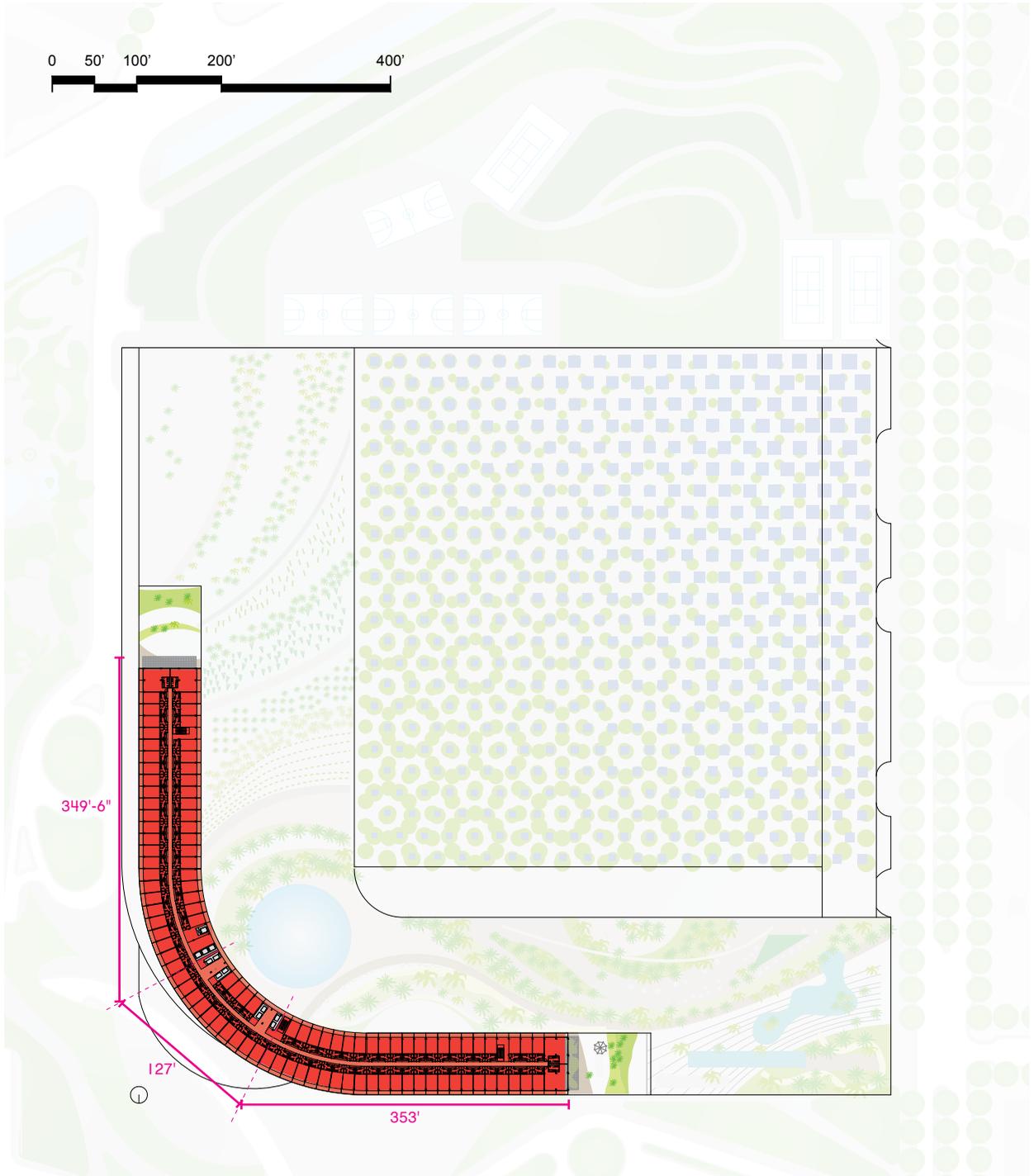


9th Floor

F9

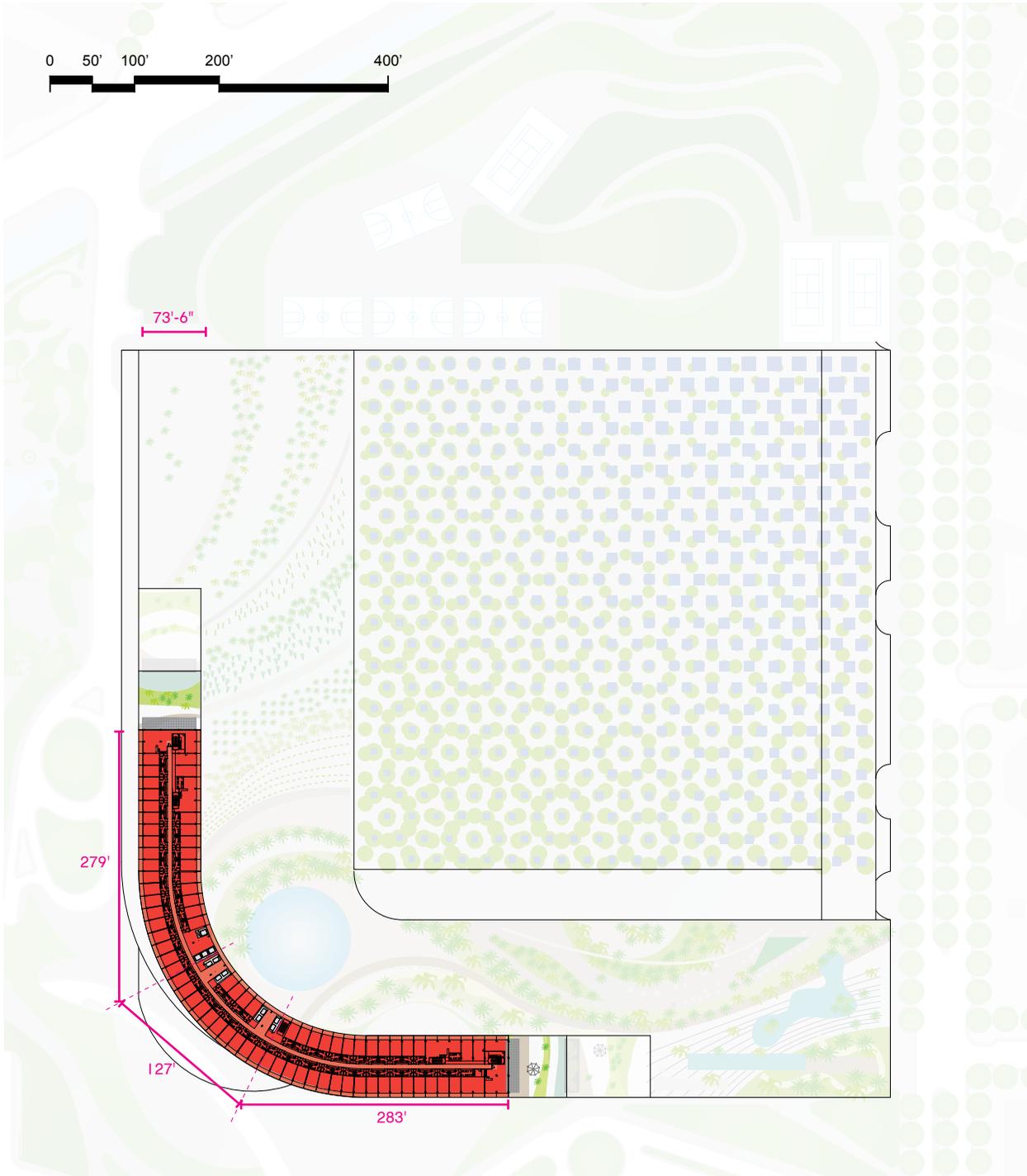


F10



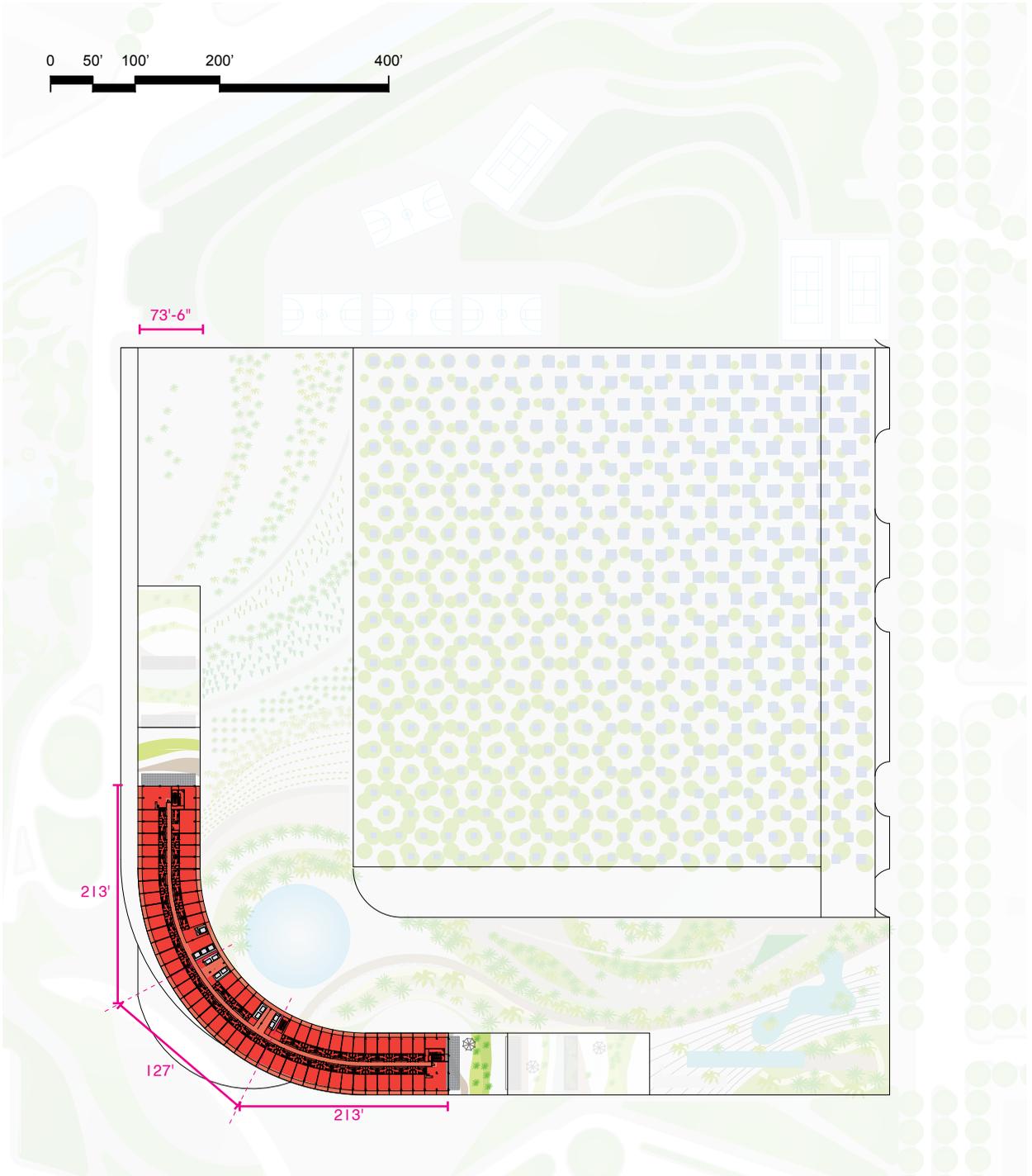
11th Floor

F11



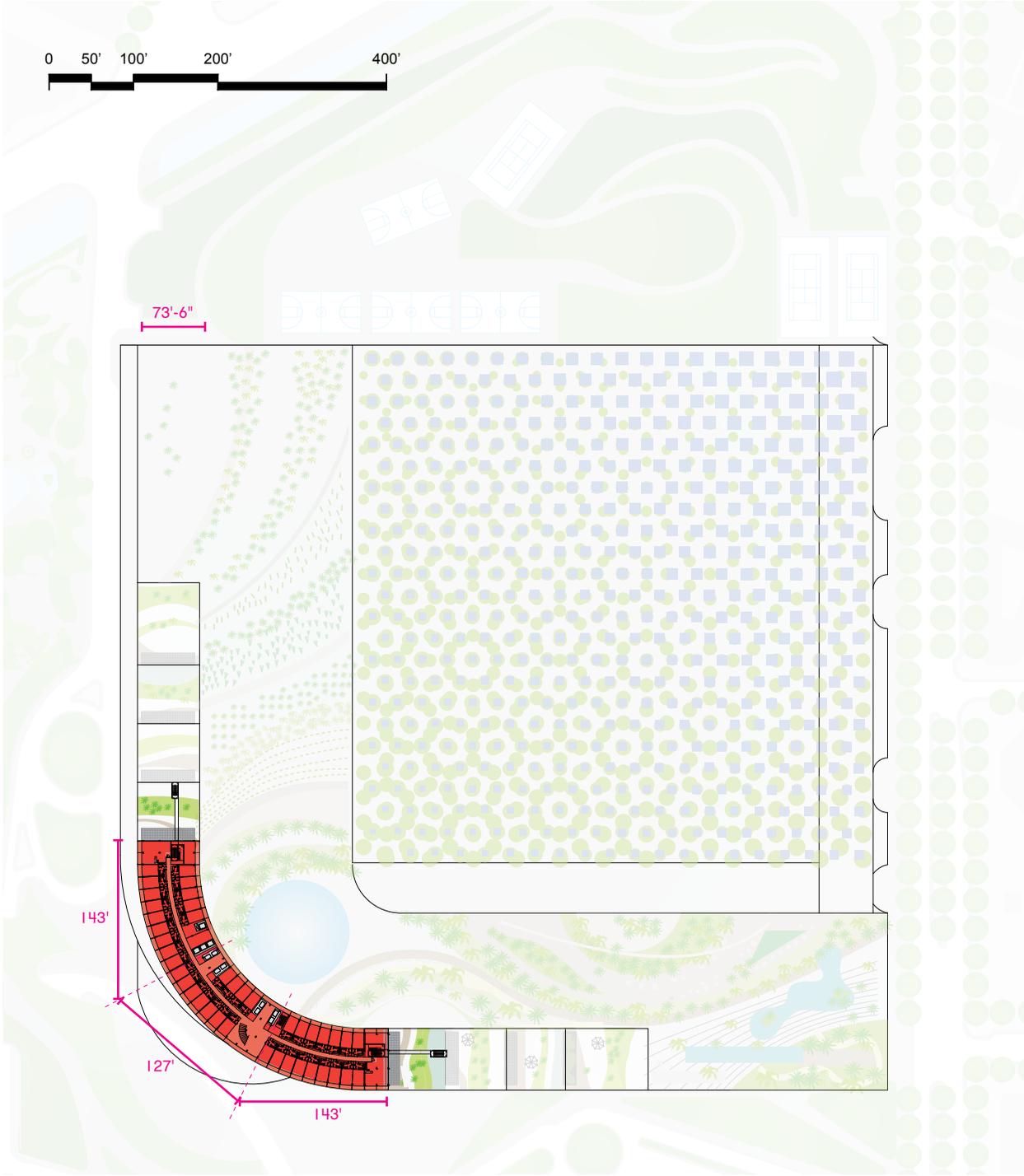
12th Floor

F12



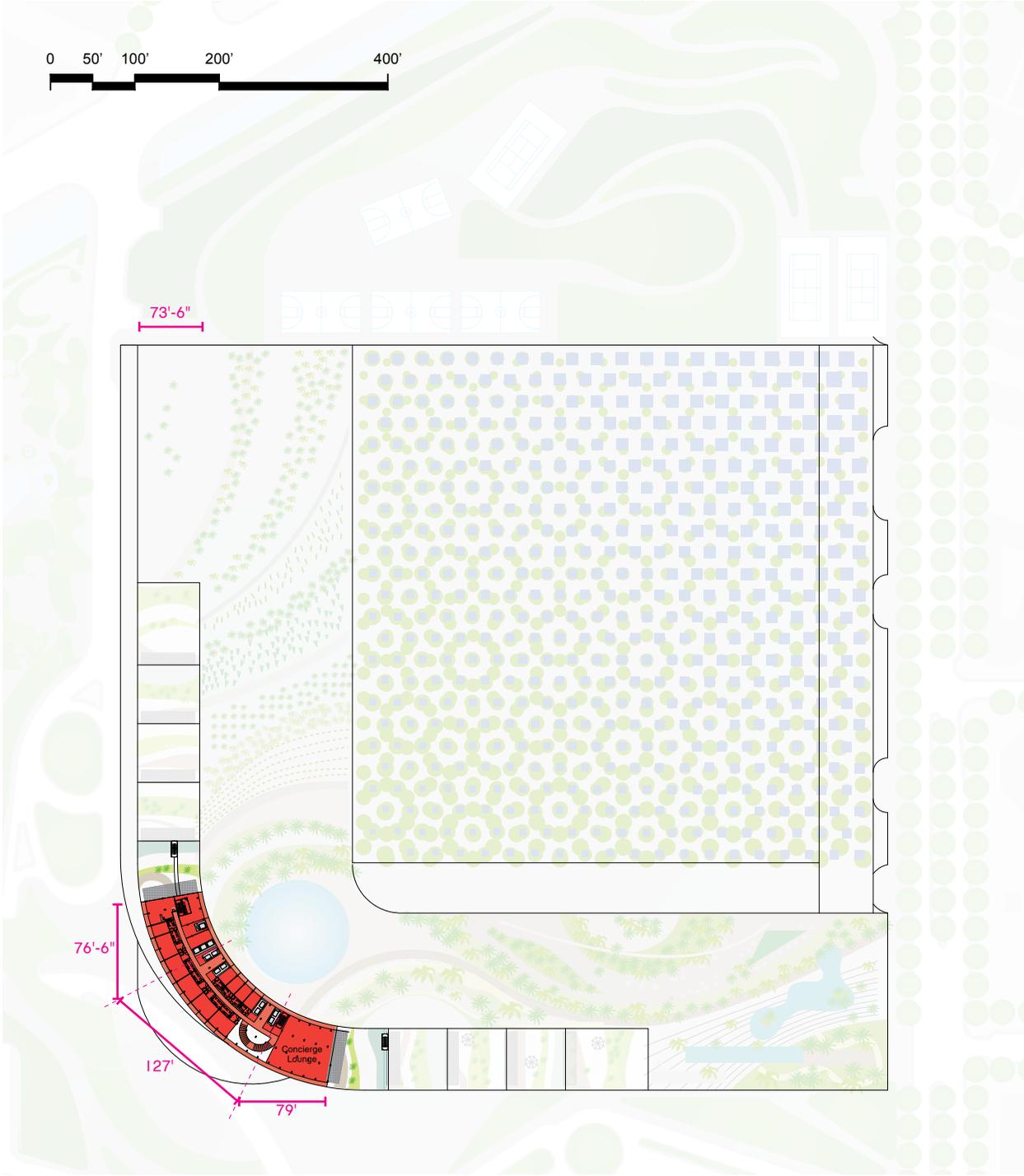
13th Floor

F13 [REDACTED]



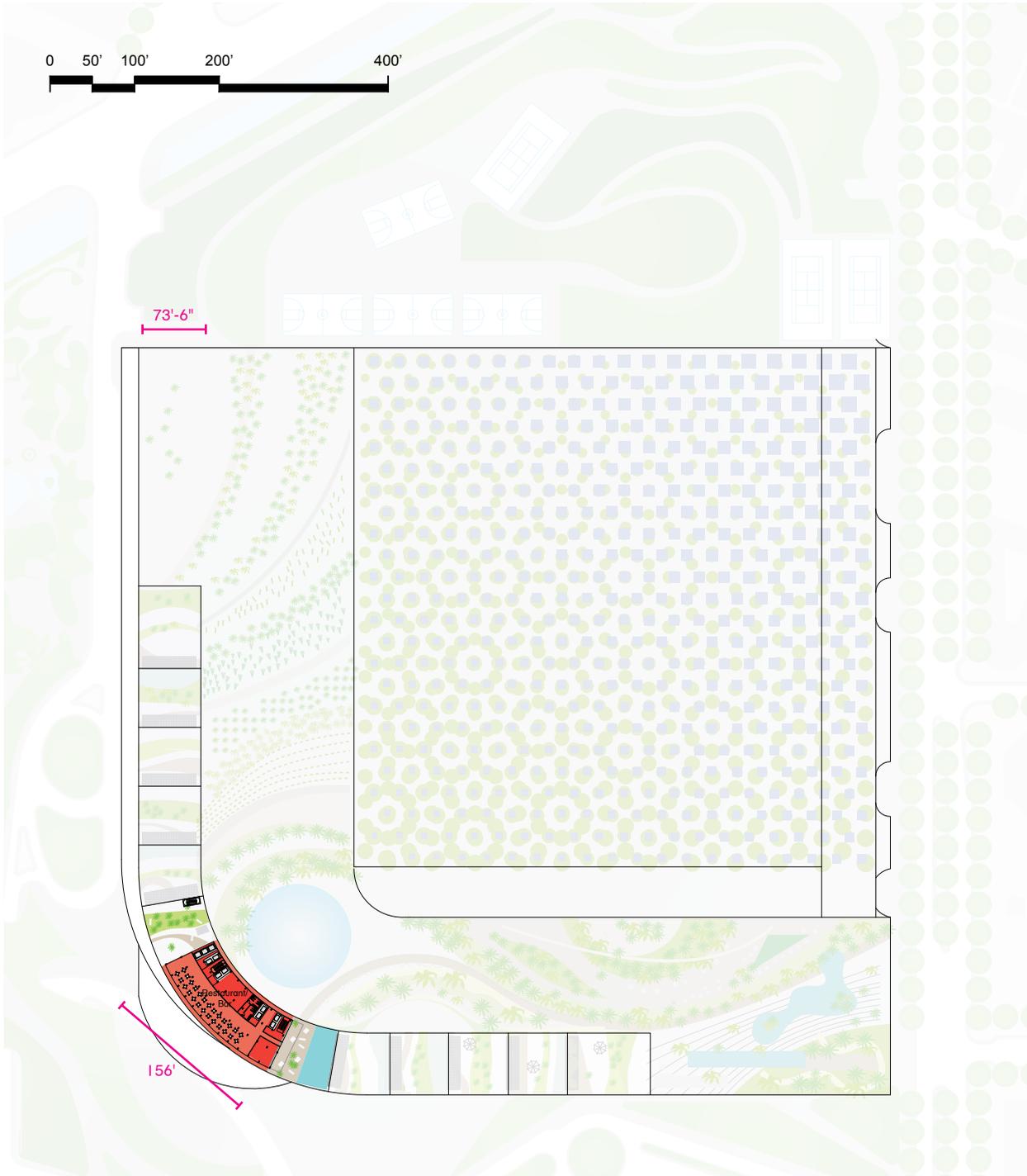
14th Floor

F14 [Redacted]



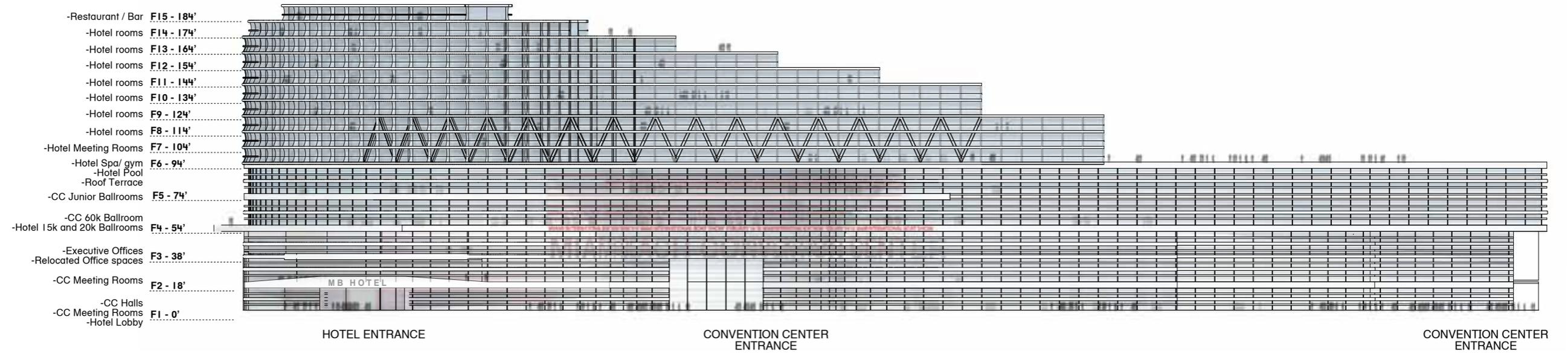
15th Floor

F15

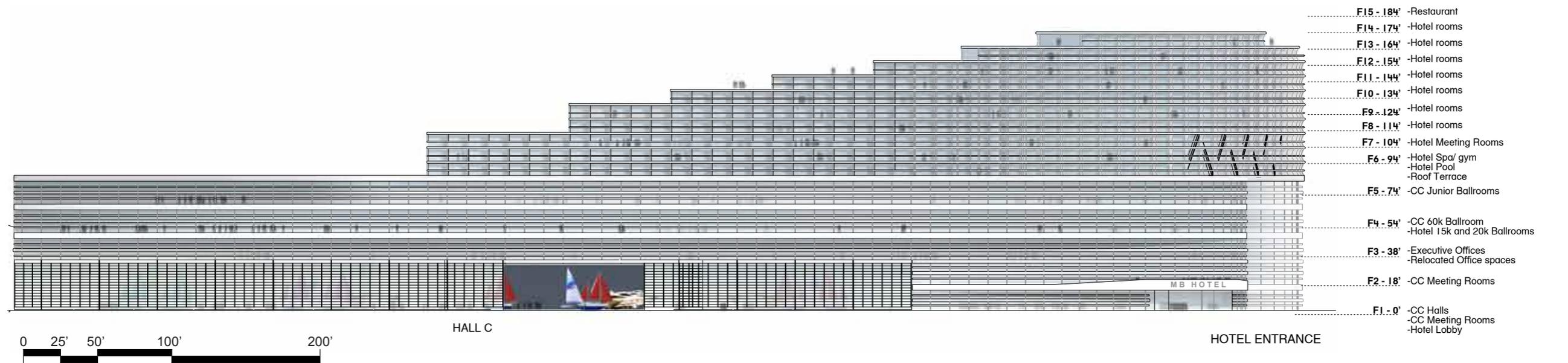


Elevations

South Elevation



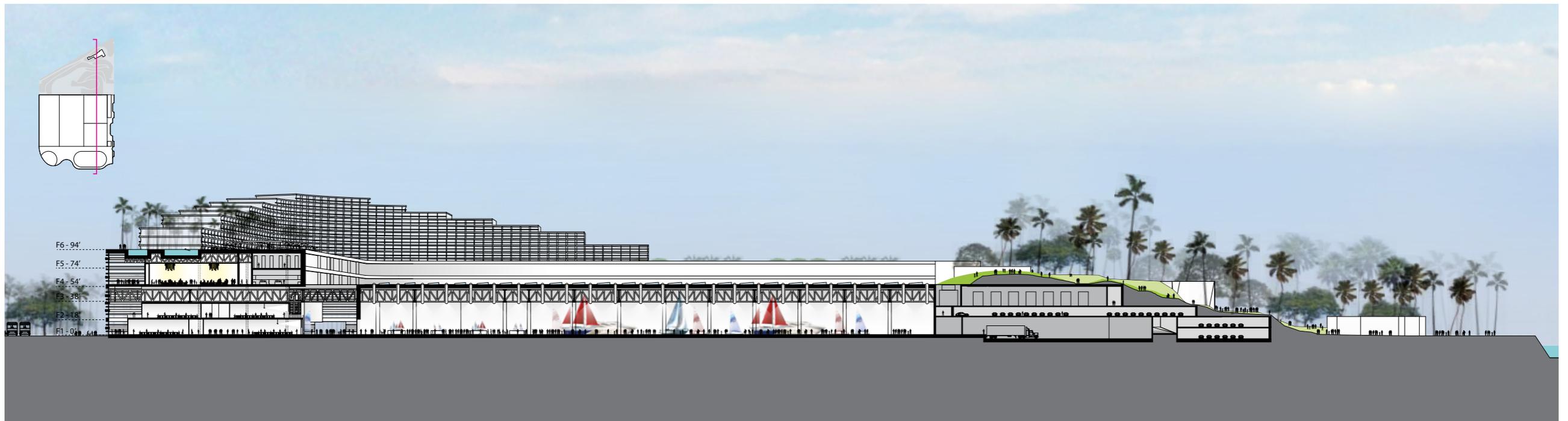
West Elevation



Sections



Section BB



Section CC

0' 25' 50' 100' 200'

Sections





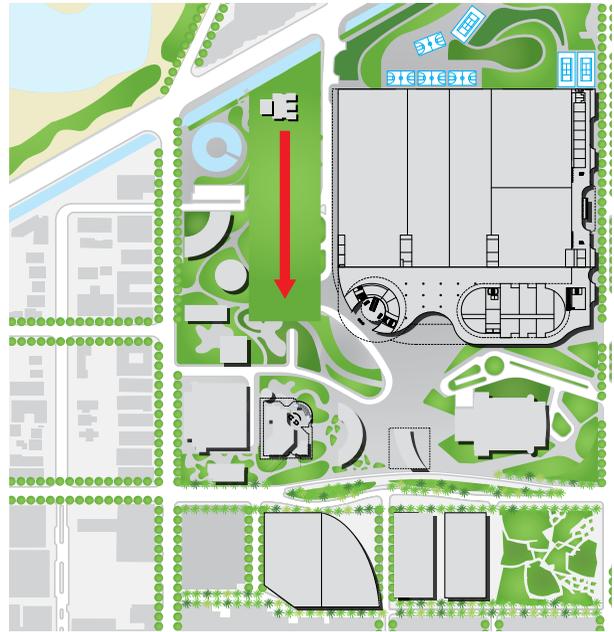


Impact

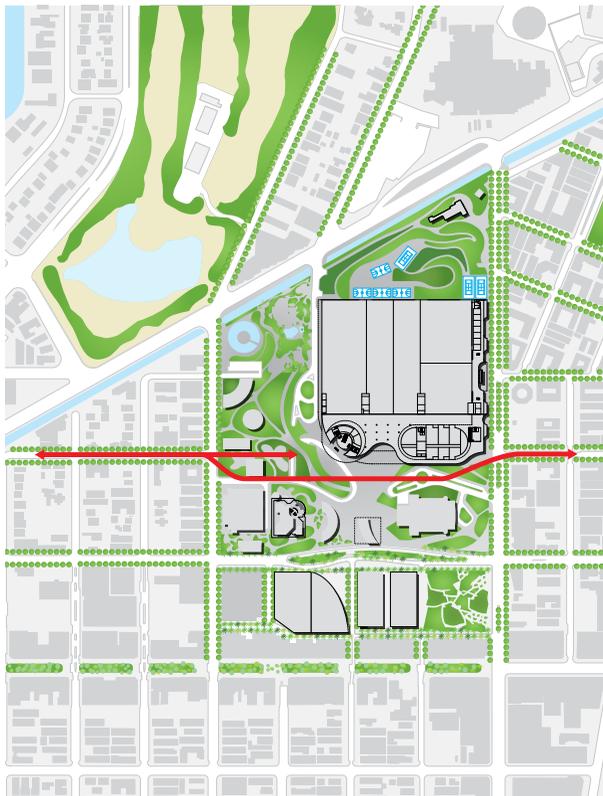


Residential

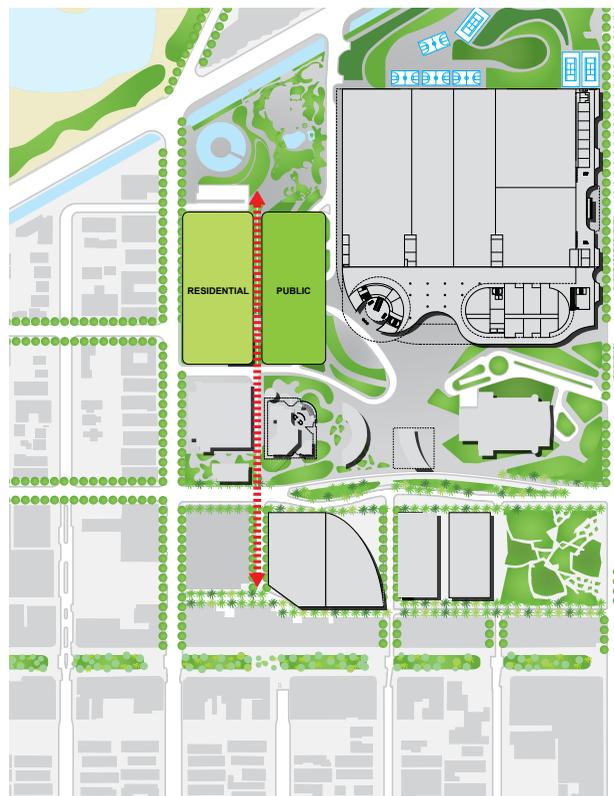
Along Meridian Avenue, a series of four residential buildings extends the Palm View neighborhood to the east for one additional block between Meridian Avenue and Meridian Lane. To the east of this residential area a new green park provides a both an amenity for the community and an asset for the MBCC, which can use its lawns for events and receptions.



A public park becomes an extension of the botanical gardens



Residential buildings are arranged to maintain East-West connectivity through the site.



The park area east of the residential area creates an active buffer.

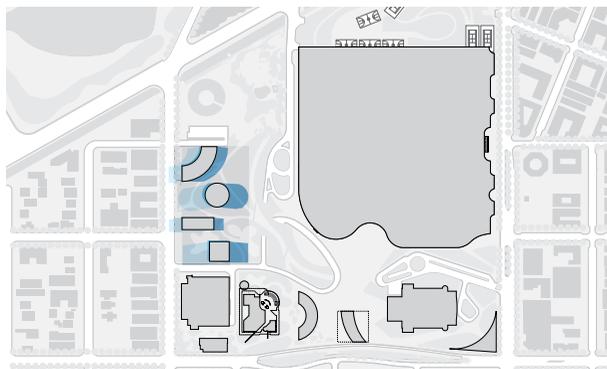
Residential Scale

The taller two buildings, each 120 feet high, are set back from Meridian to create pockets of green space between the buildings. The building's height and placement has been calibrated to avoid shading the Botanical Gardens and Holocaust museum to the north.



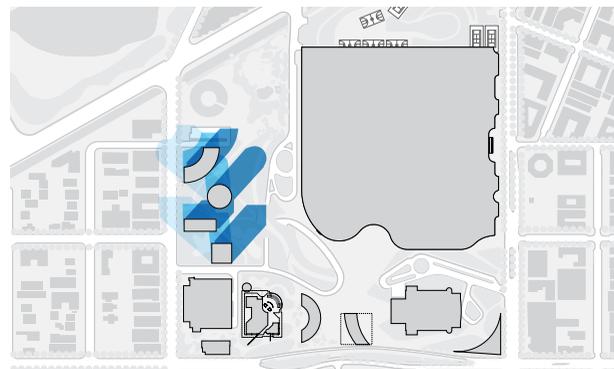
Impact

Residential Shadow Study



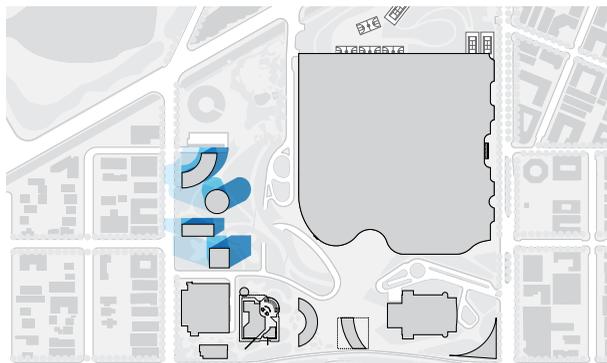
Summer Solstice - June 21

9 am 12 pm 3 pm



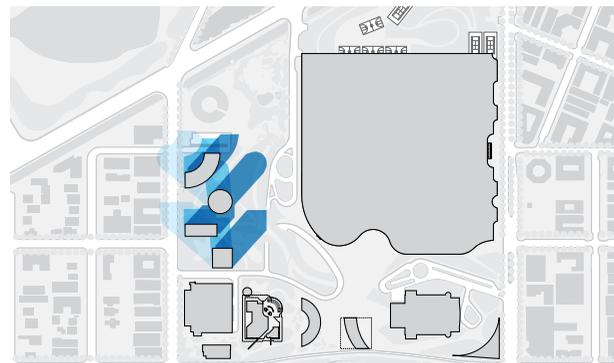
Winter Solstice - December 21

9 am 12 pm 3 pm



Spring Equinox - March 20

9 am 12 pm 3 pm



Winter Equinox - September 22

9 am 12 pm 3 pm

Residential

Parking for the new residential area is covered by a raised park. The topography of the new park creates privacy between the residential building and the Convention Center.





East-West section through Residential and parking



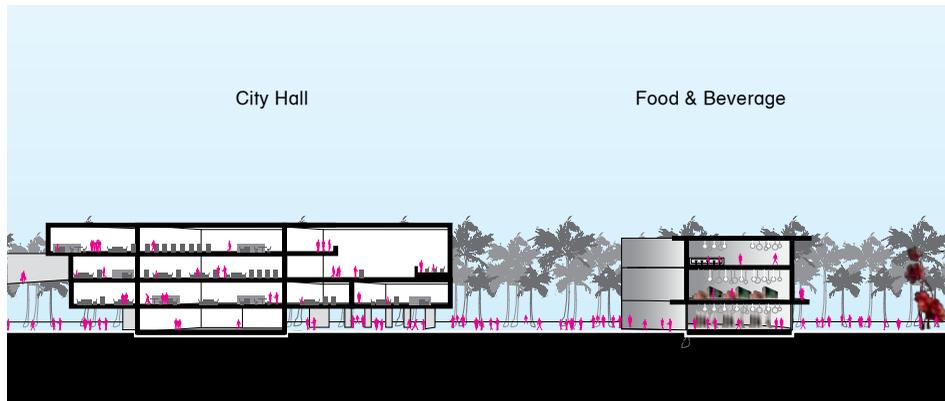
Impact





Civic / Cultural Band

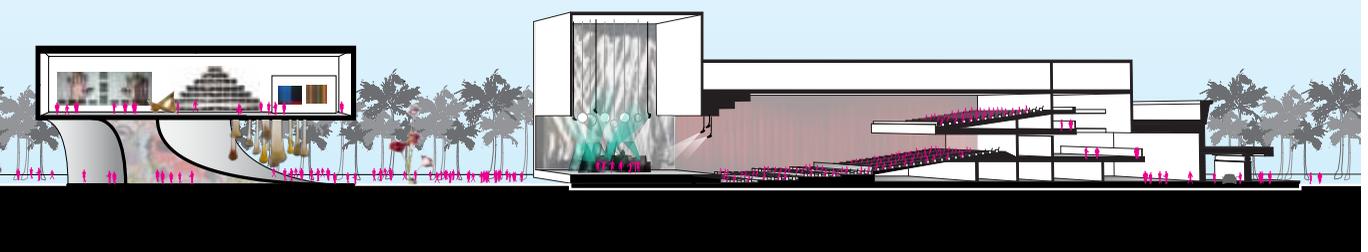
By reorienting the MBCC's main entry to the South, our plan brings its users out toward Lincoln Road, connecting the city's two most urban assets for the first time. In order to encourage movement toward the South and create active and vibrant areas above and below 17th Street, we have strategically located new program spaces while reimagining the existing assets around them.





Cultural

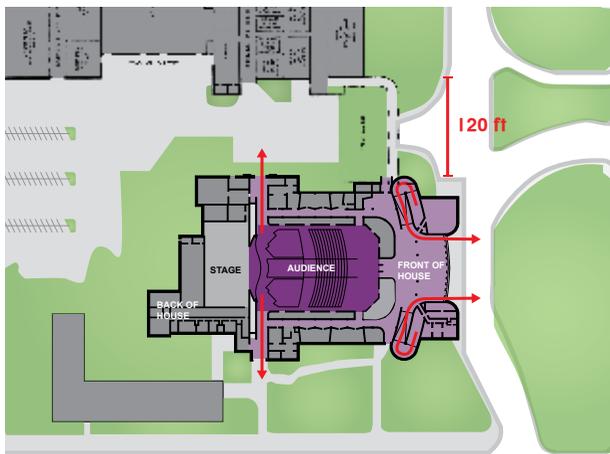
Jackie Gleason Theater



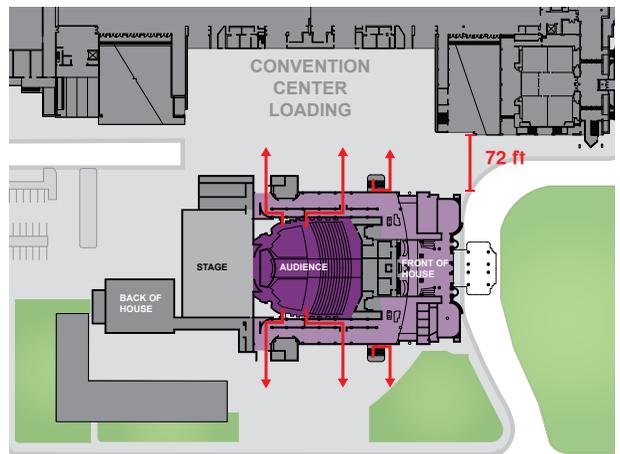
Jackie Gleason Theater

The Jackie Gleason Theater is a great asset for Miami Beach: a 2,700 seat venue that is unique in the area in both size and the types of events it offers. Like convention centers, however, theaters are traditionally hermetic buildings, closing themselves off from the city around them and hiding the life within. Our plan renovates the

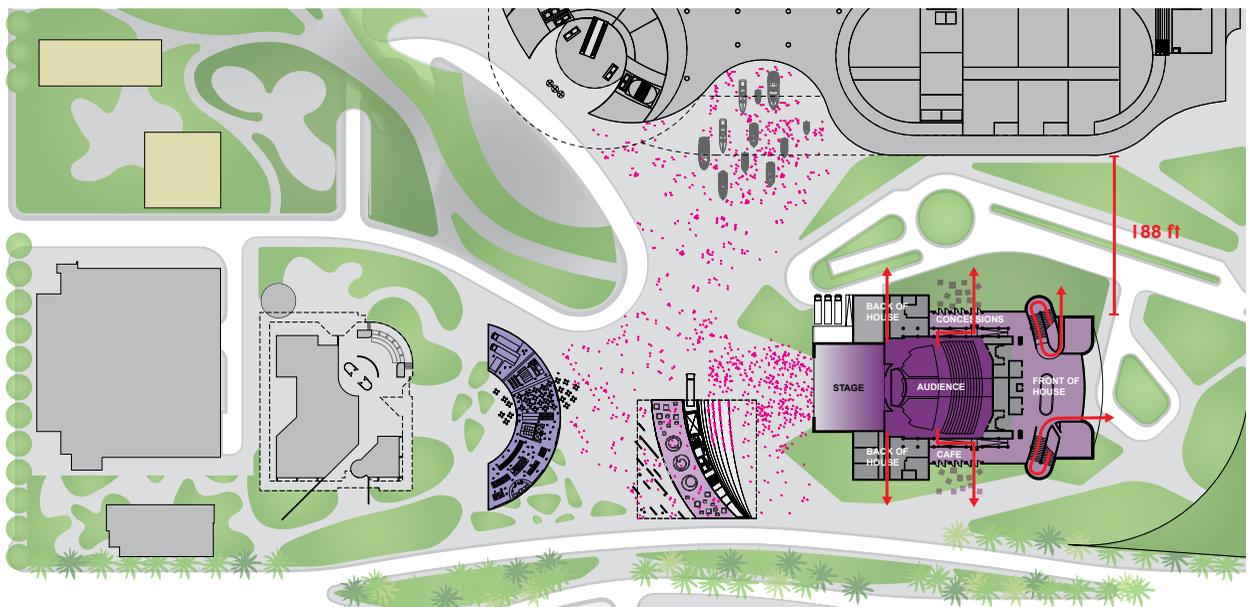
Jackie Gleason, bringing back the clean modern lines of its original incarnation while selectively creating new openings to reveal the activities within. Most dramatically, we propose to relocate the loading areas on the west side of the building and open the back of the stage to a new plaza area beyond.



Original



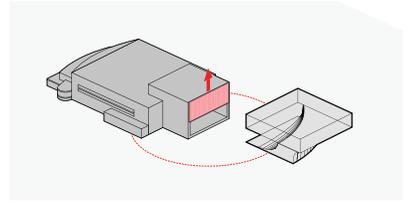
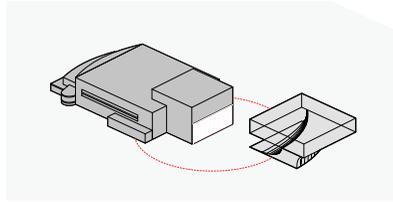
Existing



Proposed



Rear Opening



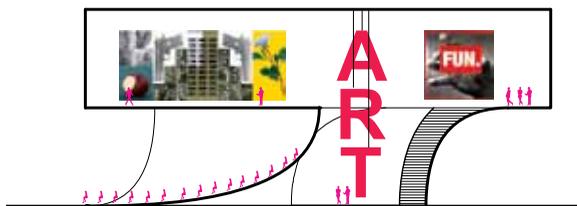
Interior View



Exterior View from Washington Avenue

Cultural Building

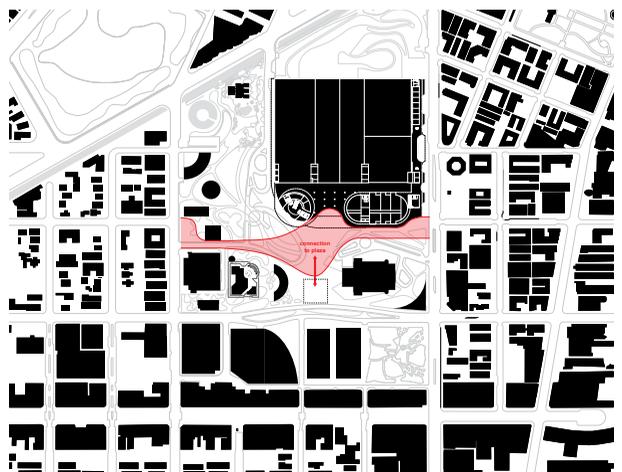
To the west of the Jackie Gleason and south of the Convention Center, a new 18,000 sf multi-purpose cultural facility provides a potential new home for art or performance to Miami Beach. With a minimal footprint at the ground, the building's base is shaped to frame the spaces around it. On the east side it slopes upward to form a shaded seating area. On the West, a large glass window forms a cultural display case visible from Pennsylvania Avenue to the south and 18th Street to the west.



View up Pennsylvania Avenue



Maintaining view corridors



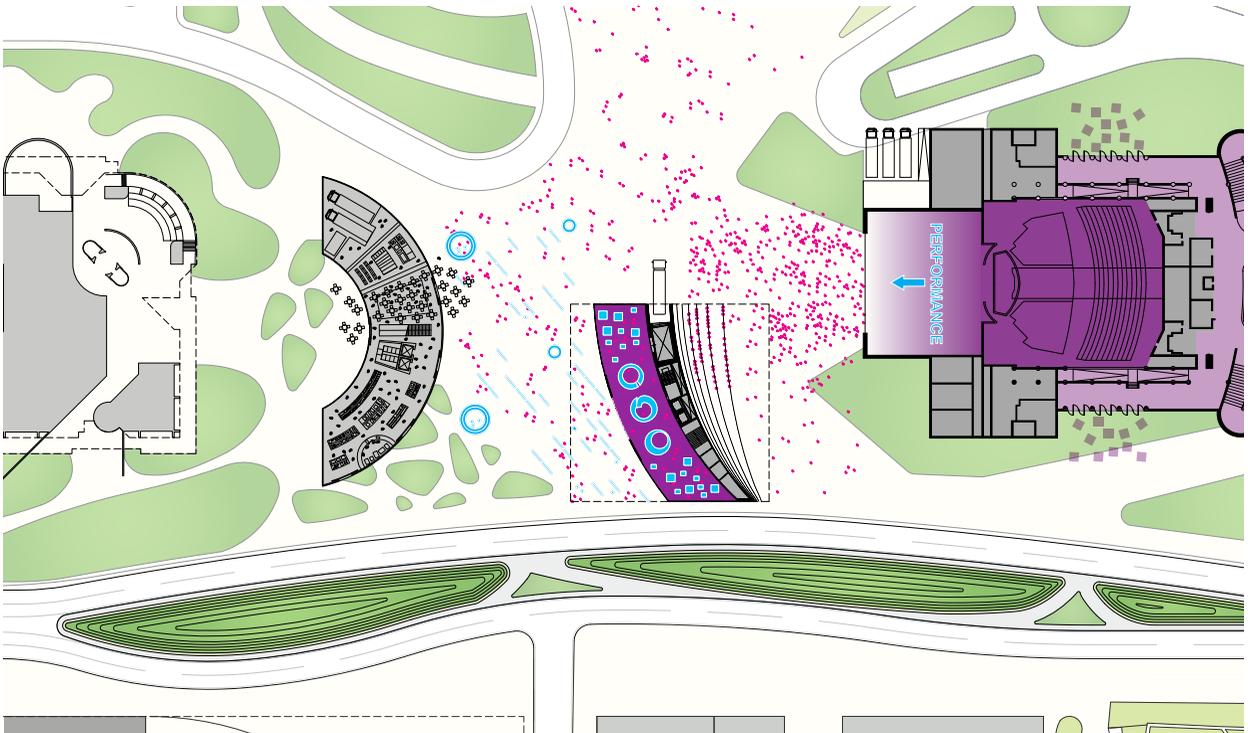
Connection to Plaza



Alignment to Gleason

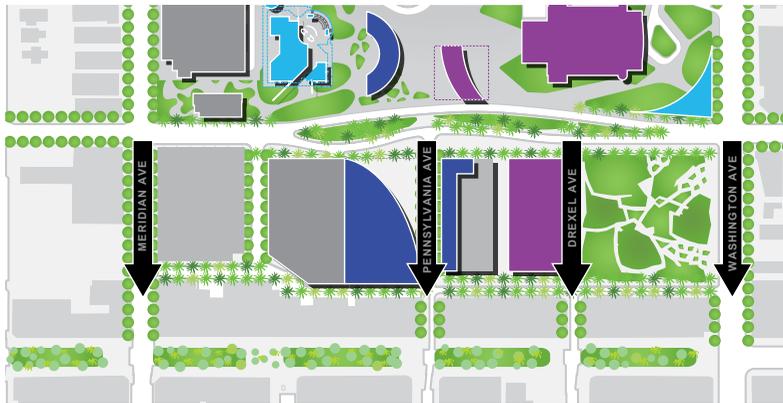


View looking from Hotel Entry



I7th Street Median

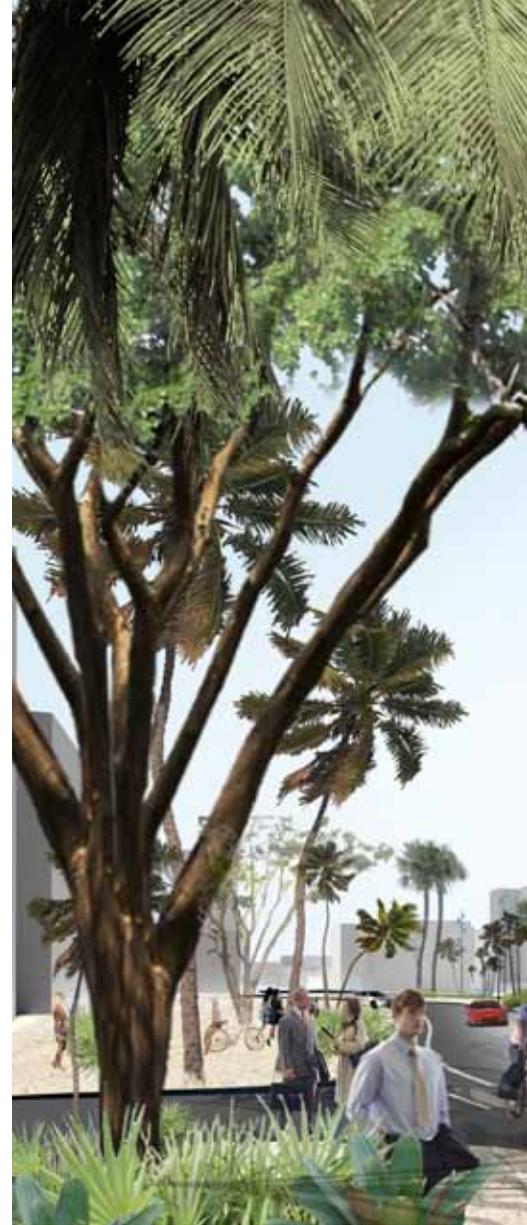
Our plan gives back parts of the site to allow the geometry of I7th Street to be reshaped and a new landscaped median introduced to calm traffic without reducing the capacity of the road. Together with new signaled cross-walks along its length, these changes greatly enhance pedestrian connectivity.



Connection to Lincoln Road



Dimensions of I7th Street Median



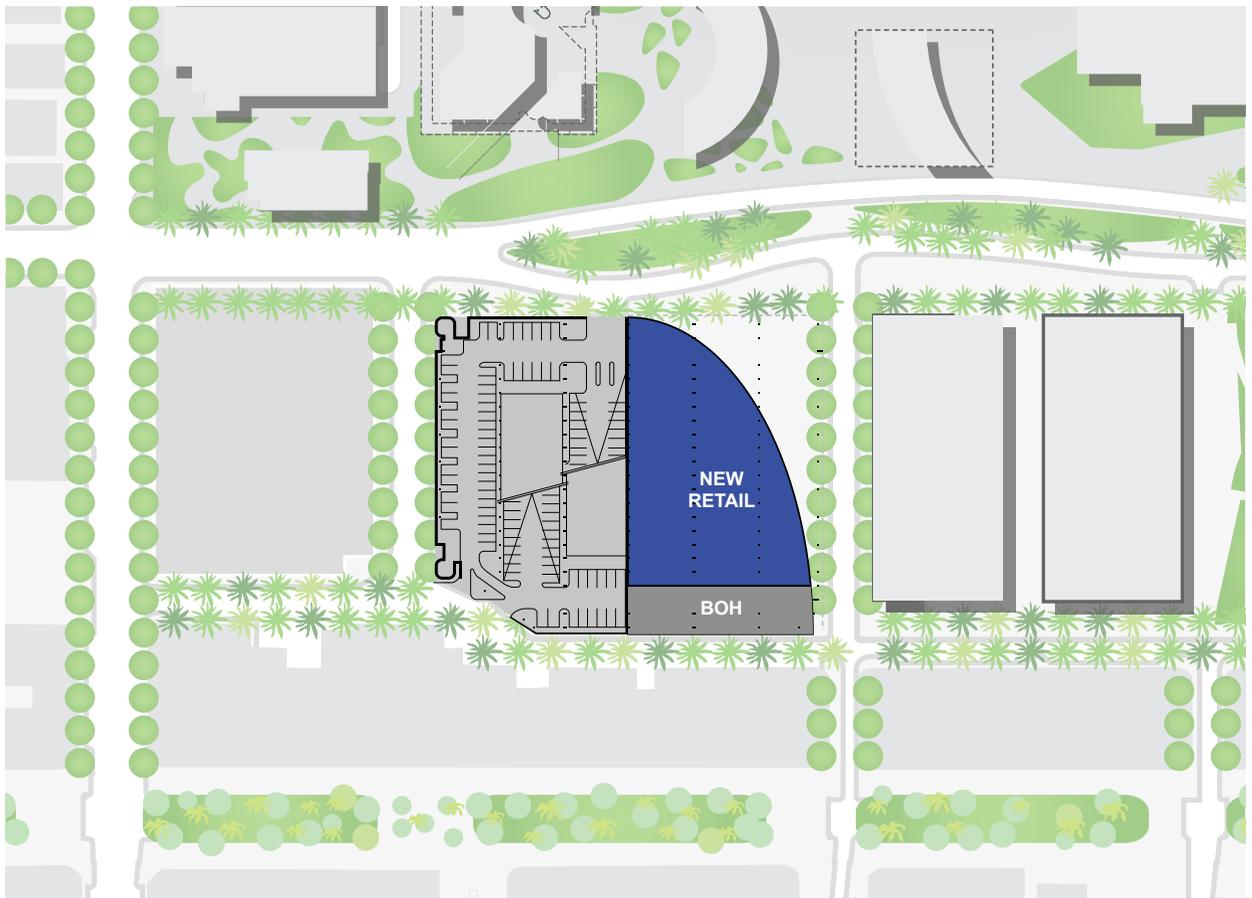
View from Soundscape Park to I7th Street Median

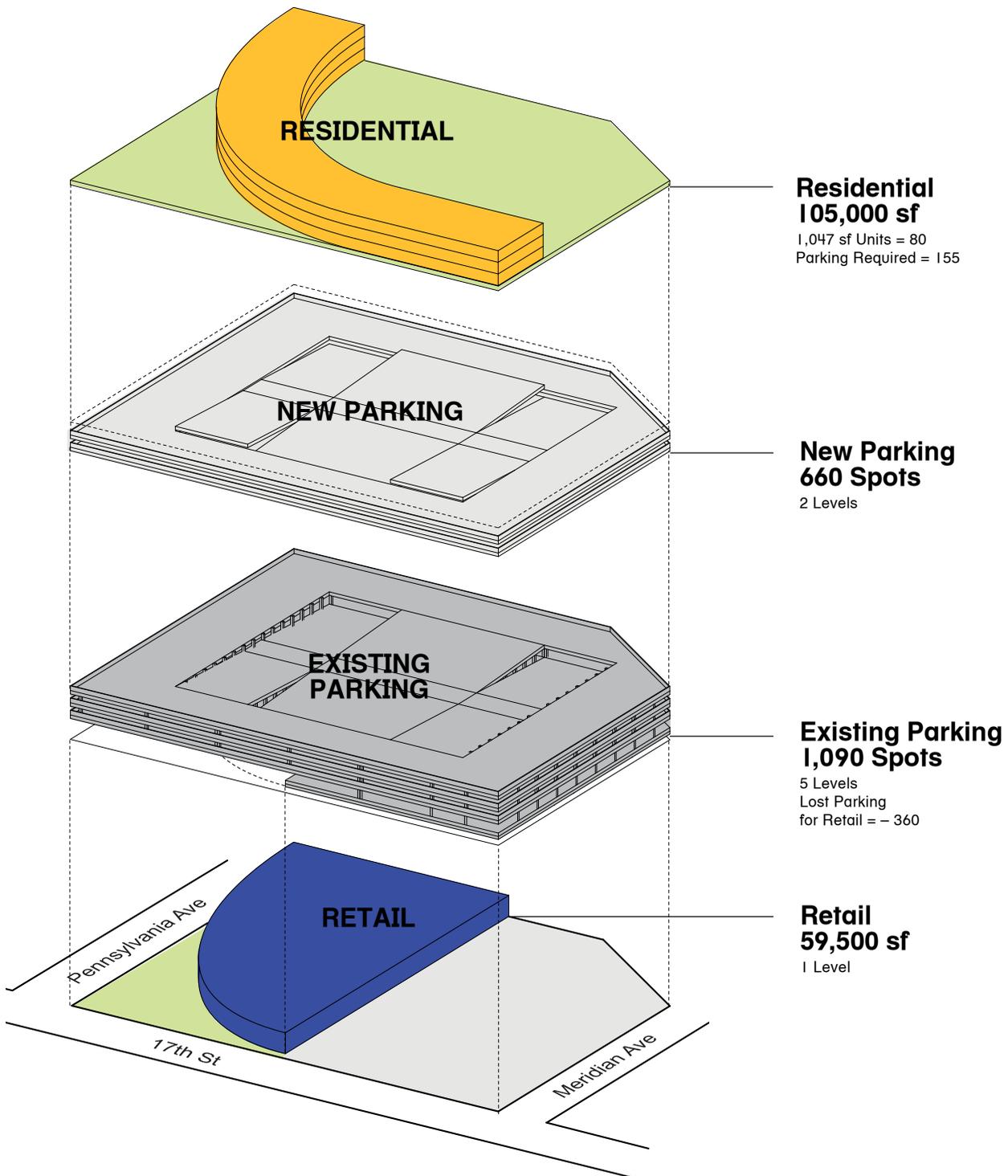


17th Street Garage

Impact on All Sides

The 17th Street Garage is an important source of parking for Lincoln Road and the Convention Center. Our plan expands the current capacity of the garage by adding two new levels of parking on top of the existing structure. Along Pennsylvania, a new retail space is introduced within the building at the ground floor. This retail space is shaped to widen the street and create a physical funnel to draw MBCC visitors down to Lincoln Road. Above the new levels of parking, a three story residential building rises to further activate this area of Miami Beach.









North



Proposed

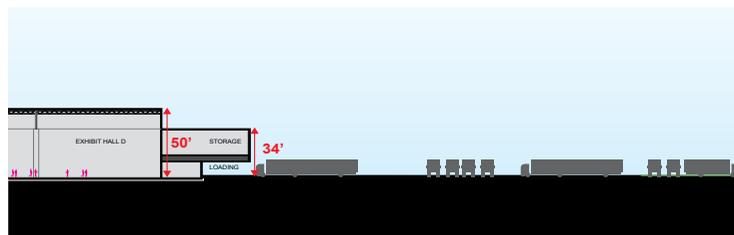


Existing

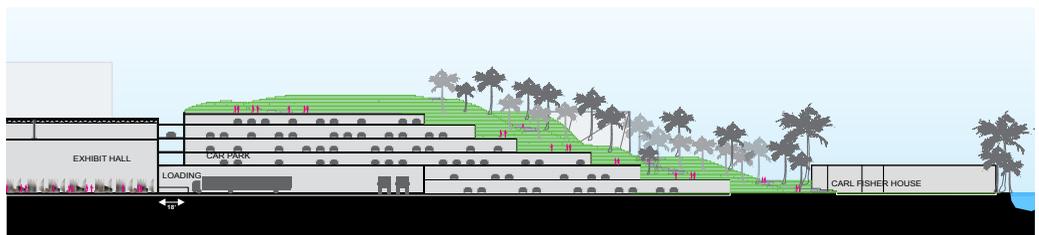
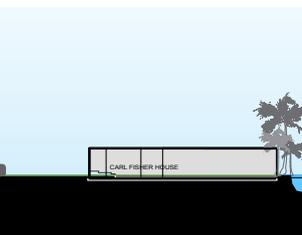


Fisher Fields

Typically, a Convention Center’s support facilities sprawl outward, contaminating a zone around it with an unoccupiable no-man’s land. Our plan transforms these problem areas into a unique asset for the city. Parking and loading for the MBCC are consolidated to the north of the building and covered by a new undulating park and recreation area extending from Collins Canal to 20th Street.



Existing - CC Loading



Proposed - Fisher Fields

Landscape



MBCC Site Context

The transformation of the Convention Center landscape from an expanse of surface parking into a public park and plaza creates an active and heterogeneous green space at a keystone position in Miami Beach's system of parks. The site has the potential to be the hub of a network of pedestrian-priority corridors linking the golf courses north of the Collins Canal to Southpoint Park, with connections to the beach along the way.



Landscape Narrative

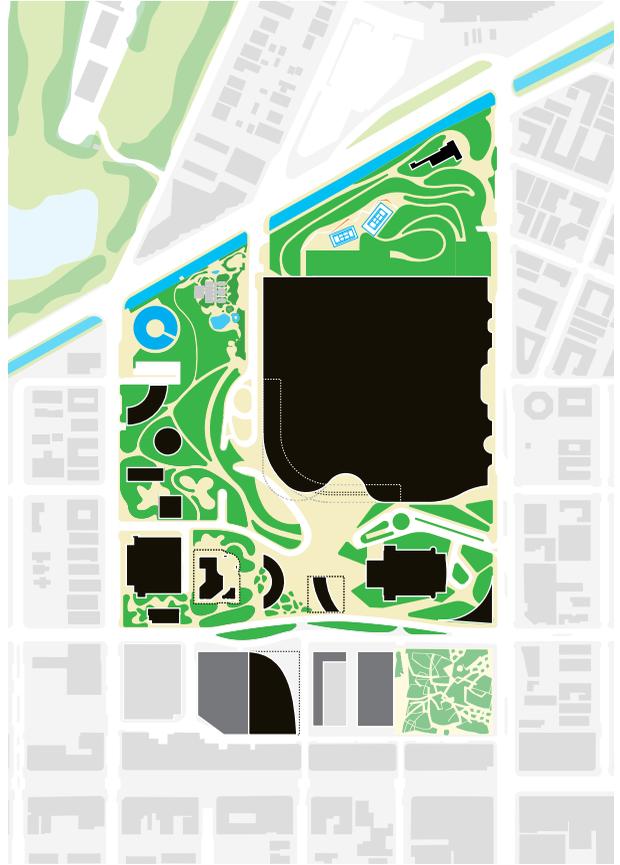
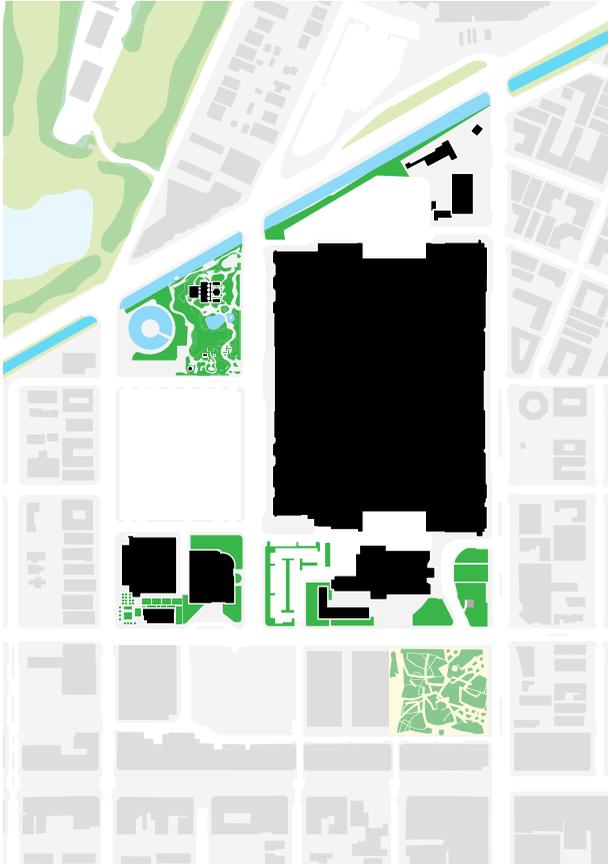
The South Beach ACE landscape proposal is defined by three primary programmatic goals, and articulates within those a fine-grained network of landscapes that activate and connect the site from edge to edge, and out into the surrounding neighborhoods.

The primary driver of the landscape design is the creation of convenient and enticing routes of pedestrian circulation—the proposal aims to give pedestrians both ways and reasons to enter and traverse the 52-acre site. The design puts equal emphasis on pedestrian traffic to and from the convention center, hotel, and cultural amenities, and on neighborhood-oriented diagonal circulation, from Palm View to the Lincoln Road Mall and to Collins Park.

The proposal also creates distinctive and appropriate landscape settings for each of the three primary pro-

grammatic areas of the site—residential, civic/cultural, and recreational. The landscape is thus closely coordinated with the architectural elements of the proposal: the civic band will be dignified, while the residential area will emphasize privacy at a neighborhood scale, buffered from the Convention Center by an extension of the botanic garden. This strategy also serves as a wayfinding tool—visitors passing through the site will be able to use landscape cues to navigate the site. Within these three broad programmatic areas, the landscape is designed to accommodate a wide array of activities and uses, and to serve a diverse constituency of locals and visitors. This involves providing purpose-oriented amenities such as sports courts, playgrounds, and dog runs, as well as a variety of multipurpose spaces, including broad open lawns and smaller-scale outdoor “rooms.”

Green Space

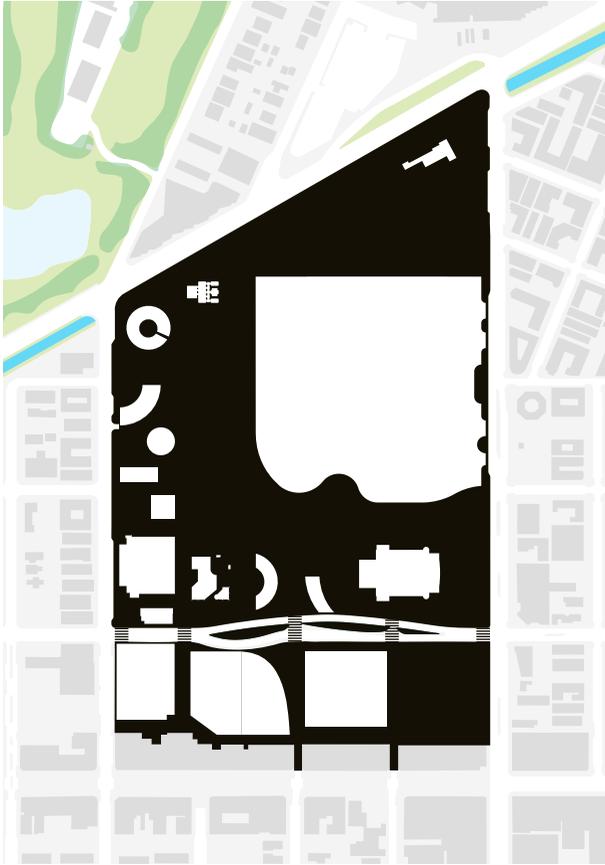


Existing green space

Greenspace	160,000 SF
Walkways/Plazas	248,952 SF
Roadways	182,500 SF
Parking	522,094 SF
Building	1,156,840 SF
TOTAL	2,270,387 SF

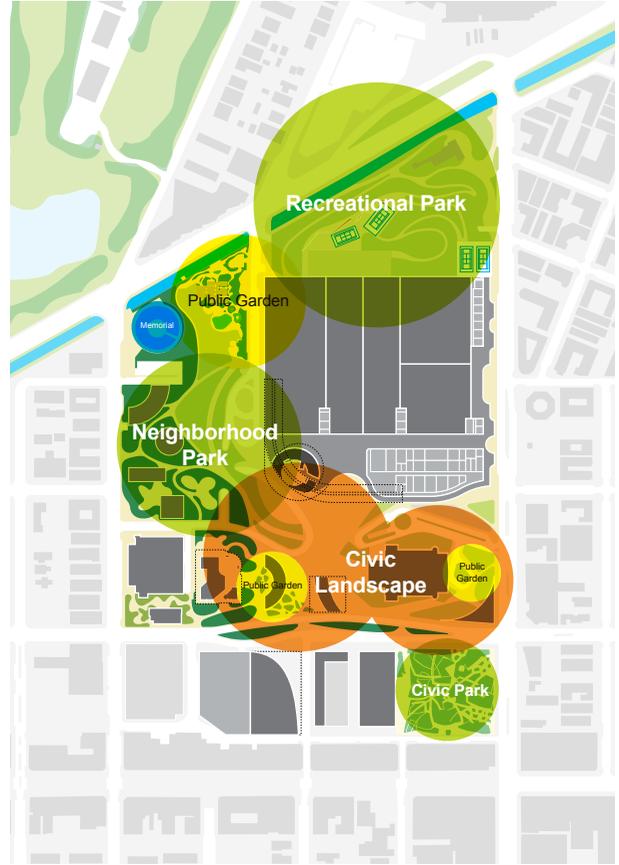
Proposed green space

Greenspace	588,430 SF
Walkways/Plazas	533,317 SF
Roadways	128,810 SF
Parking	All below grade
Building	1,019,830 SF
TOTAL	2,270,387 SF



Public space

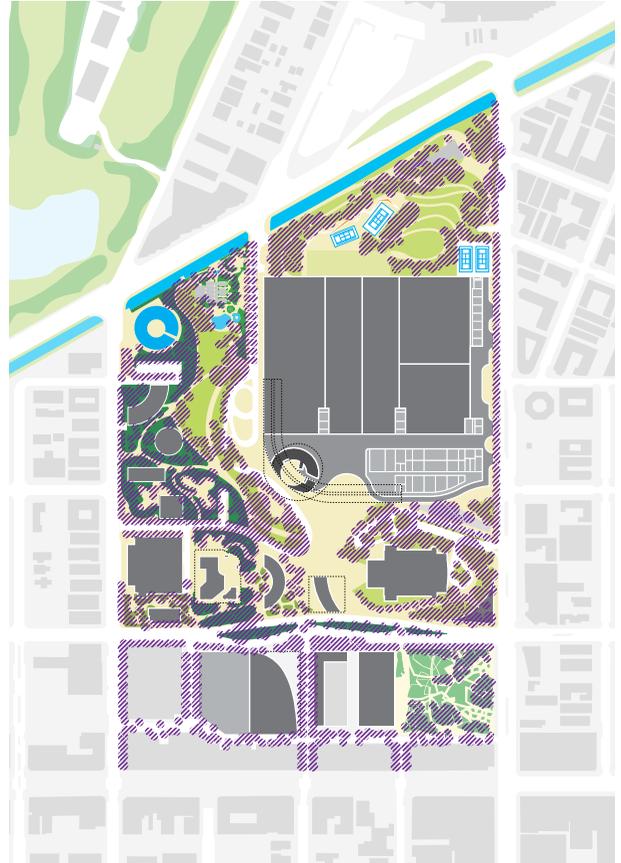
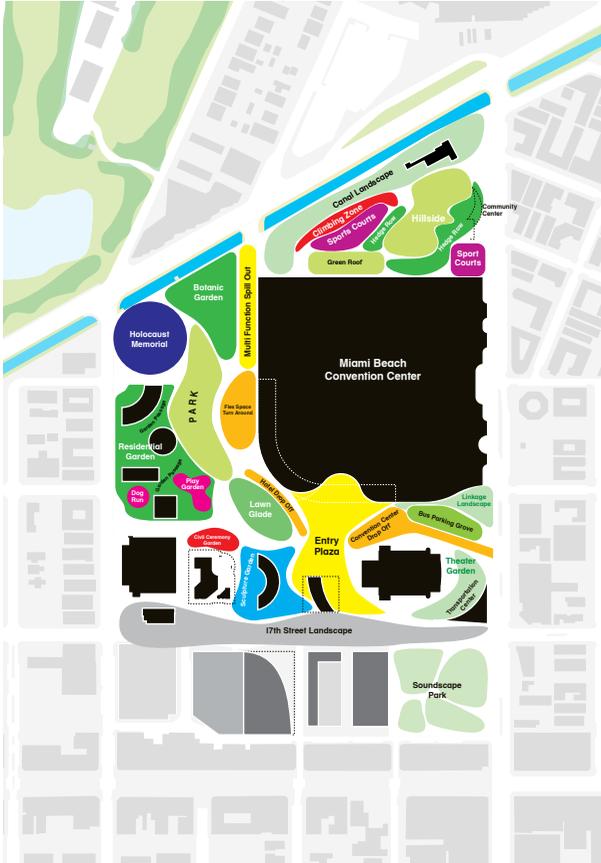
By mitigating hostile pedestrian conditions along 17th Street with a new landscape median and generous crosswalks, the public realm of the Convention Center District is expanded south to the Lincoln Road Mall.



Urban program

The landscape of the Convention Center District seamlessly integrates six urban landscape types.

Program & Circulation

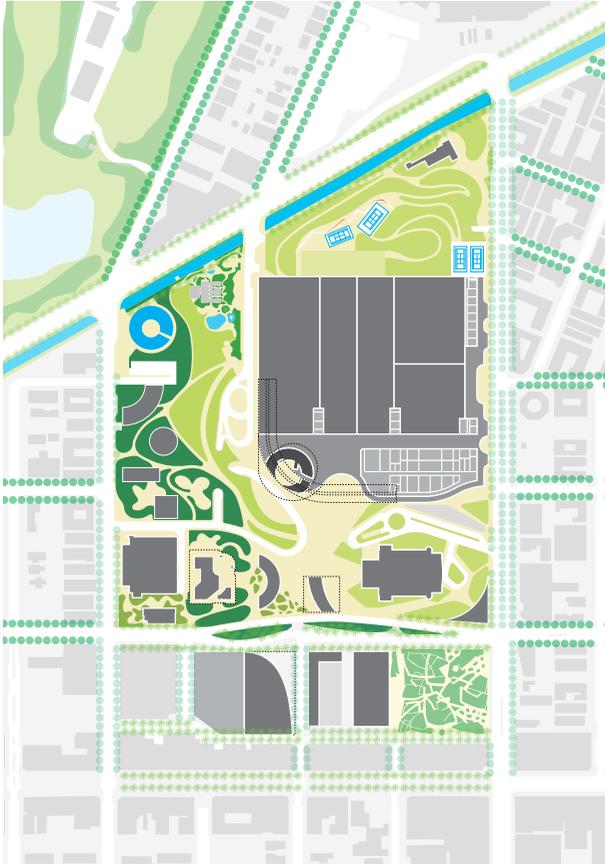


Site program

The landscape features a wide range of active and passive activities to draw in a diverse array of visitors, from residents of immediately adjacent neighborhoods to international convention attendees.

Shade

The existing site is flat and open, creating relatively uniform environmental conditions. One of the central objectives of the Convention Center landscape is to introduce a variety of microclimates that promote human comfort throughout the year. Dense shade tree plantings along pathways will offer respite from the hot summer sun.



Green streets

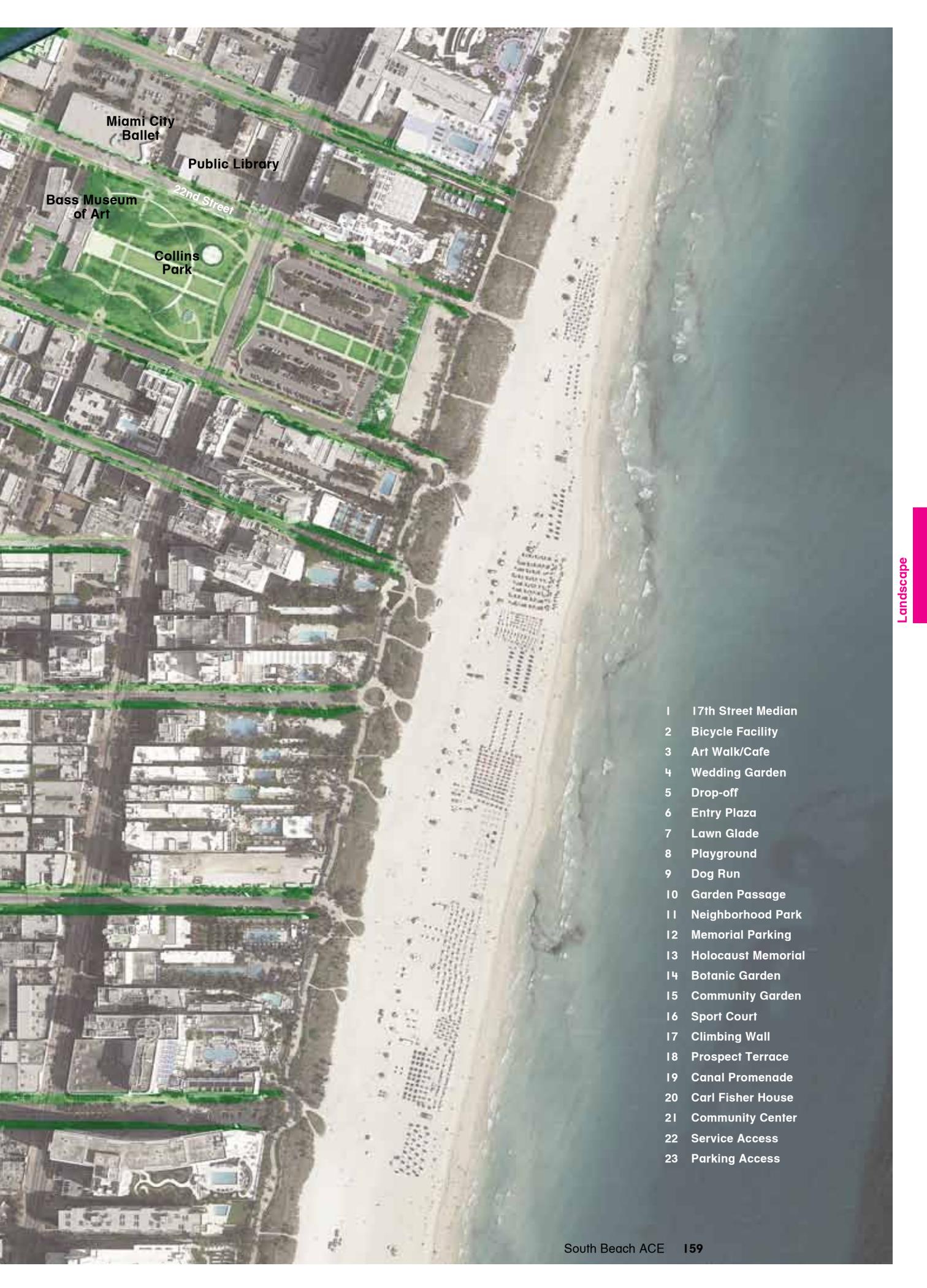
The proposal recommends strengthening street tree plantings through adjacent neighborhoods, establishing shaded connections to Collins Park, Lincoln Road Mall, and the beach.



Pedestrian circulation

Curvilinear pathways that respond to varied topography, landscape program, and buildings allow visitors and neighbors to experience a series of landscape episodes that unfold as they walk or bike through the site. Pedestrian circulation connects to the adjacent neighborhoods and promotes a strong east-west passage through the site at 18th Street.





Miami City Ballet

Public Library

Bass Museum of Art

Collins Park

22nd Street

- 1 17th Street Median
- 2 Bicycle Facility
- 3 Art Walk/Cafe
- 4 Wedding Garden
- 5 Drop-off
- 6 Entry Plaza
- 7 Lawn Glade
- 8 Playground
- 9 Dog Run
- 10 Garden Passage
- 11 Neighborhood Park
- 12 Memorial Parking
- 13 Holocaust Memorial
- 14 Botanic Garden
- 15 Community Garden
- 16 Sport Court
- 17 Climbing Wall
- 18 Prospect Terrace
- 19 Canal Promenade
- 20 Carl Fisher House
- 21 Community Center
- 22 Service Access
- 23 Parking Access

Civic Landscape

The Civic Landscape serves both as a primary arrival and gathering place for the Convention Center, and as a vital threshold, a place of interchange that choreographs the relationships among several core elements of Miami's civic, cultural and commercial life.

The Civic Landscape is a band running east-to-west across the southern edge of the site. Its centerpiece is the Convention Center Plaza, a broad open public space that links the Convention Center entrance, the preserved Jackie Gleason Theater, new museum and restaurant spaces, and City Hall. Extending smoothly from underneath the Convention Center's covered entrance, the plaza affords an opportunity for convention activity to spill out into public space.

As with the proposal as a whole, the plaza is carefully calibrated to be comfortable in all hours of the day and throughout the year. The plaza is enclosed with shaded areas with ample seating, counterbalancing its open, sunny interior space.

Surrounding the plaza, a series of smaller outdoor areas can accommodate pedestrian traffic through the side as well as smaller-scale gatherings. An Art Walk between the Convention Center and City Hall will bring first-class art into the public sphere, while a new scheme for 17th Street will connect the site to the New World Symphony, Soundscape Park, and the Lincoln Road Mall beyond.





I7th Street



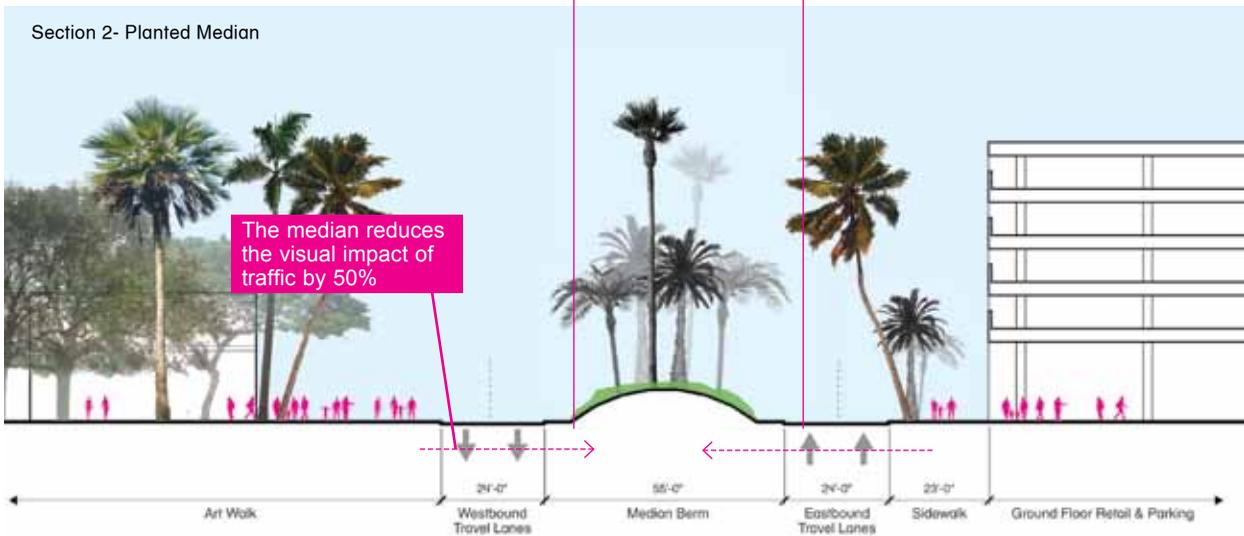
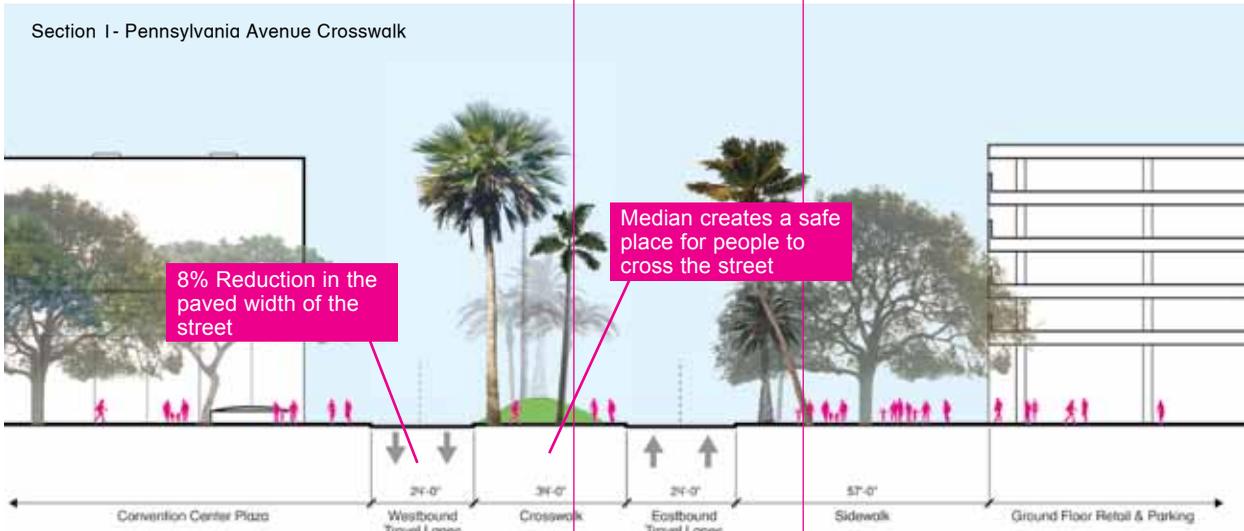
Convention Center Plaza

17th Street

17th Street, the southern edge of the site, is currently the most forbidding pedestrian barrier in the Convention Center District. Alterations to 17th Street thus represent one of the most important urban planning opportunities in this proposal.

The New World Symphony, Soundscape Park, and the Lincoln Road Mall are all key South Beach attractions that should be included in a broad band of pedestrian-priority civic and cultural activity. But to get to them from the Convention Center site, pedestrians currently need to cross a busy four-lane street whose crosswalks and pedestrian wayfinding features are highly inadequate.

The proposed alterations to 17th Street would attend to pedestrian comfort and convenience without reducing the overall vehicular capacity of the street. Expanded sidewalks and multiple clearly indicated crosswalks mitigate the physical and psychological barriers to crossing the street, while a new planted median both reduces the overwhelming visual presence of cars and encourages pedestrians to safely cross the street in two stages.



Neighborhood Park

The needs of a thriving residential community do not always coincide with those of Convention Center attendees. New public cultural amenities and recreational opportunities will make the Convention Center District an exciting place to live, but residents will also need moments of privacy and respite from the high-traffic bustle of the Civic Landscape.

The proposed Neighborhood Park recognizes these facts by establishing a distinctive neighborhood-scale park designed to support both existing adjacent neighborhoods and the site's new residential developments. These smaller, quieter areas will be open to the public, but their scale and character will be conducive to the kind of activities and experiences that make for a safe and socially resilient residential neighborhood.

Extending the Botanic Garden south via a series of open lawn spaces provides the primary buffer between the residential and convention-oriented areas of the site, including the vehicular drop-off zone on Convention Center Drive. Surrounding the new residential buildings, neighborhood programs, including a playground and dog run, are connected by a series of shaded paths incorporating benches and areas of lush planting.





Playground

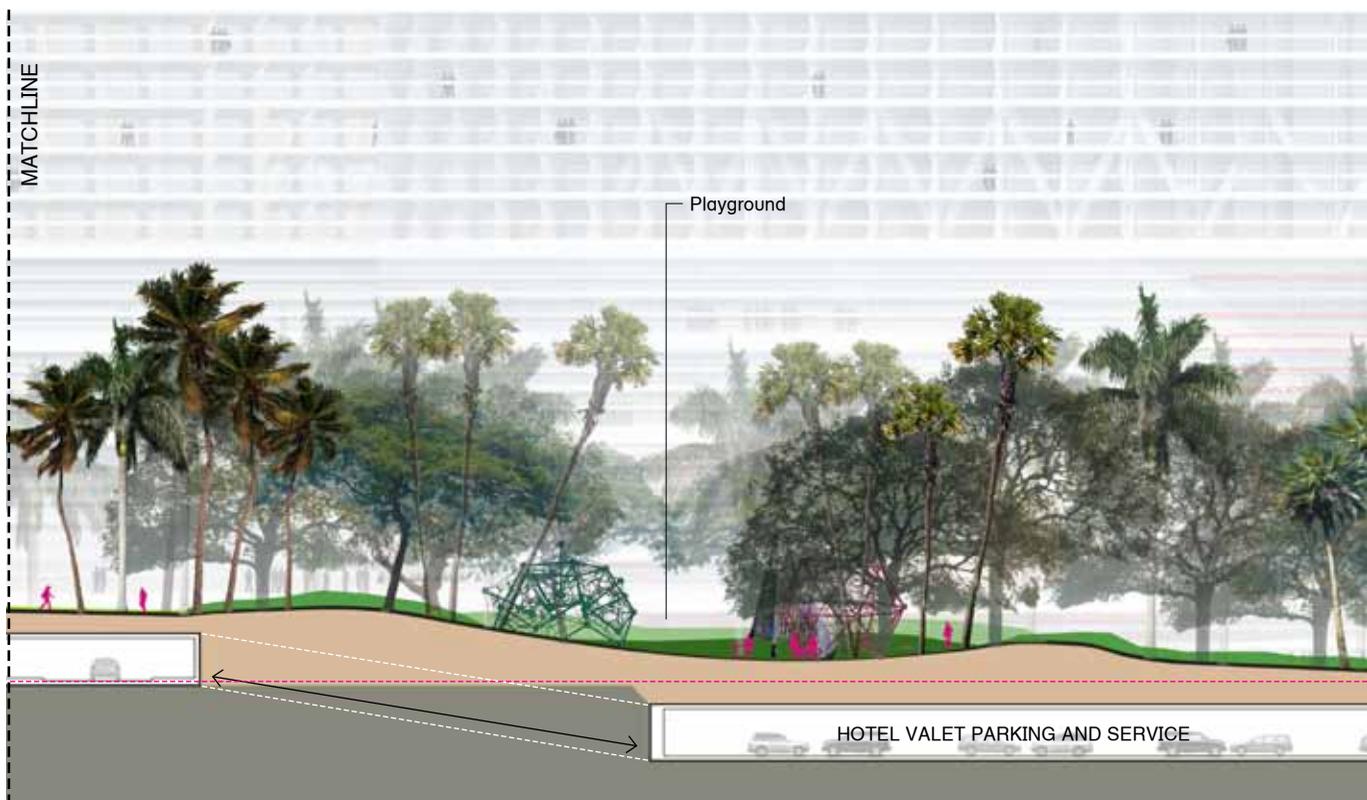


Neighborhood Park

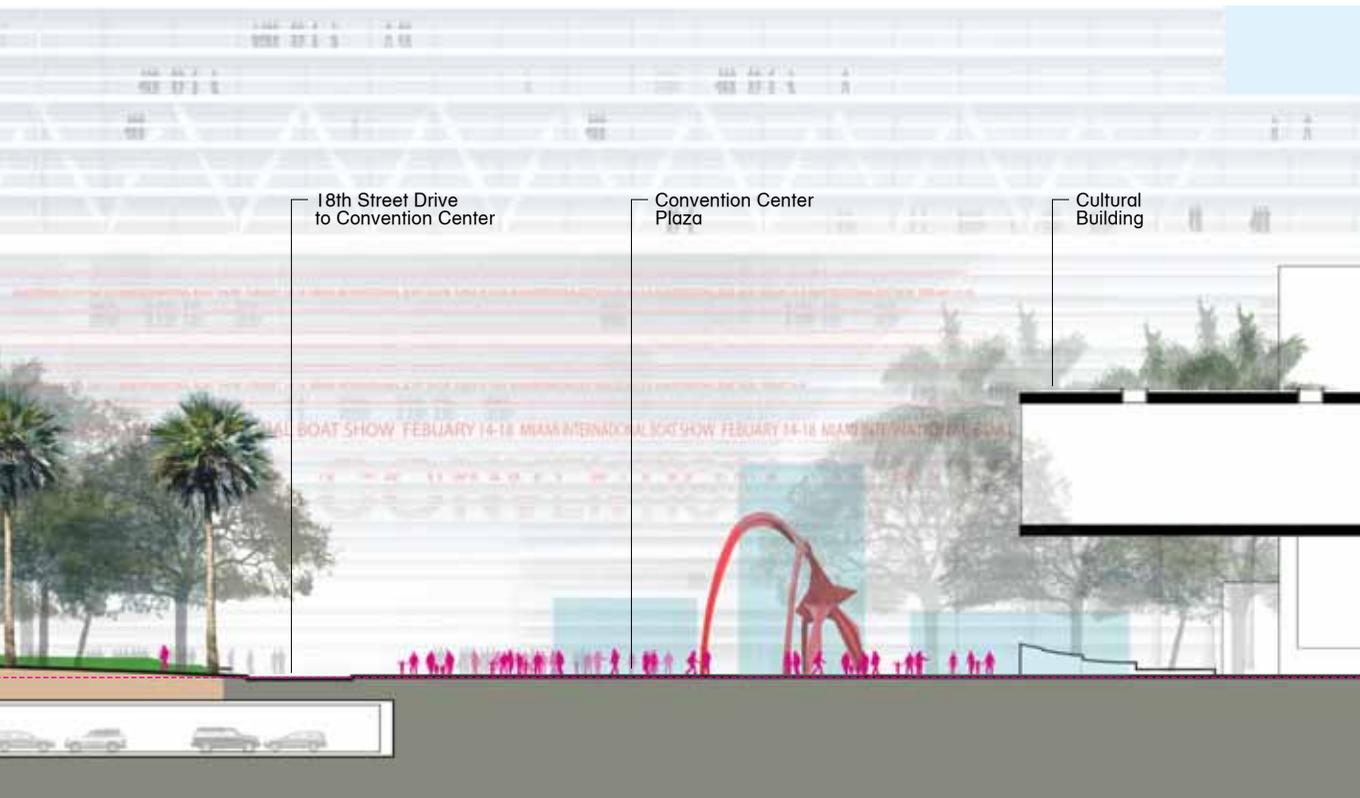
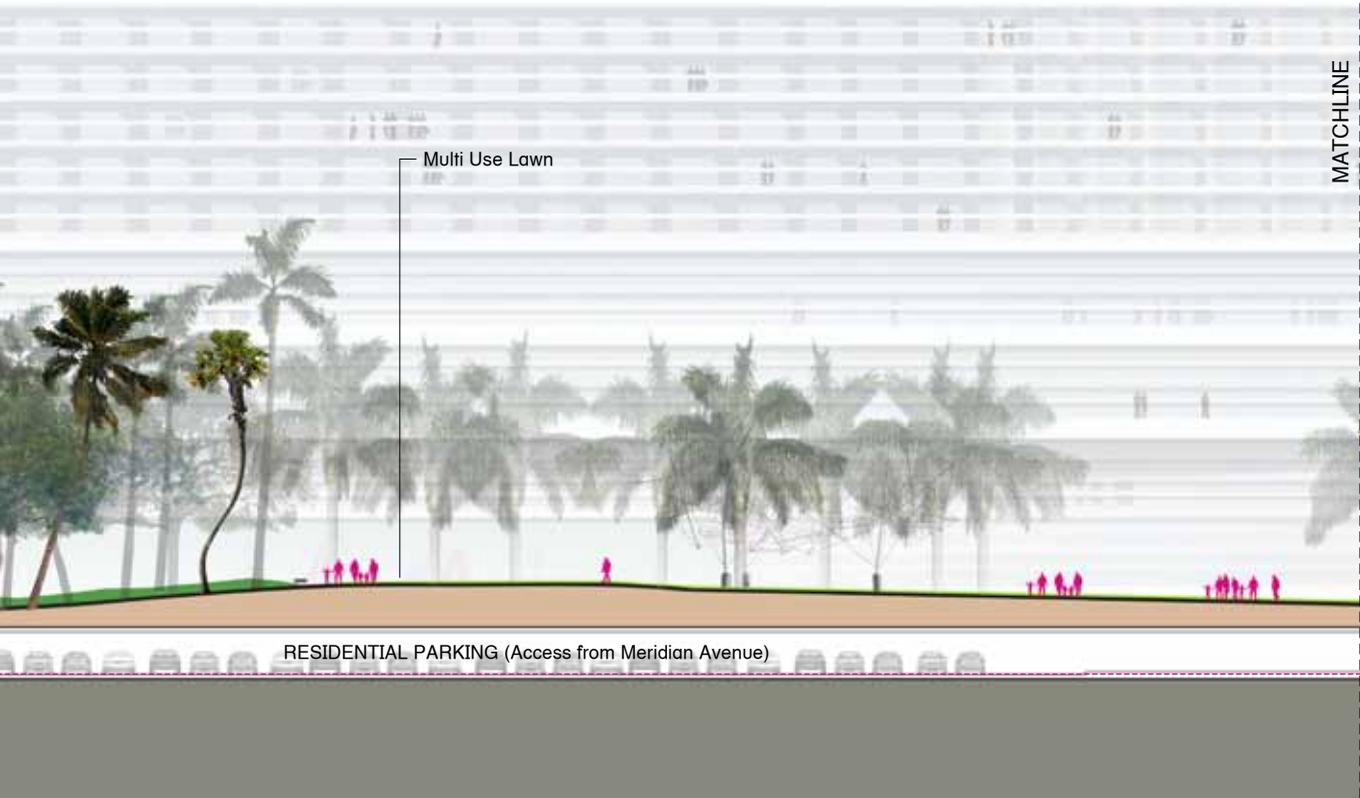
Neighborhood Park



Section 3- Neighborhood Park



Section 3- Neighborhood Park - Continued



Fisher Fields

At the northern edge of the site, the Recreational Park represents this proposal's most intense integration of architecture and landscape. The proposal's parking solution—a sloping 5-story stack of below-grade structure—serves as an opportunity for topographical drama, sweeping views of the city, and pockets of program that further increase the site's programmatic range.

The Recreation Park's main feature is the Prospect Hill, which rises 80 feet to give Convention Center visitors and park users views of the Collins Canal, Miami

Beach Golf Club, and the city beyond—views that are usually possible only from inside a building. The proposal exploits this grade change to create sites for both horizontal and vertical recreation, including sports courts and a sculptural climbing wall.

Around the edges of the Recreation Park, new trees help establish a comfortable canal-side promenade and pedestrian connections across the canal and to Collins Park. Carl Fisher House is preserved and given a compelling new landscape setting.





Climbing Wall

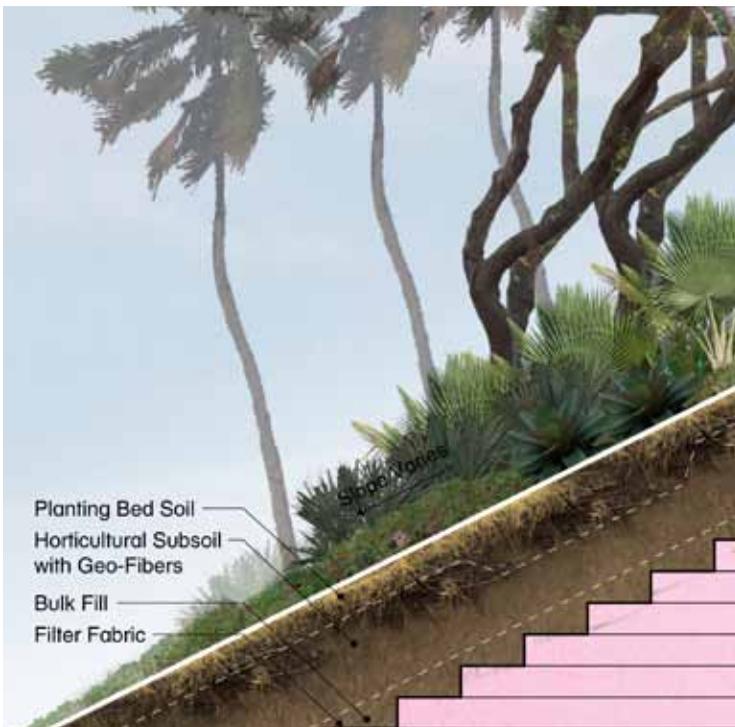


Prospect Hill from the Carl Fisher House

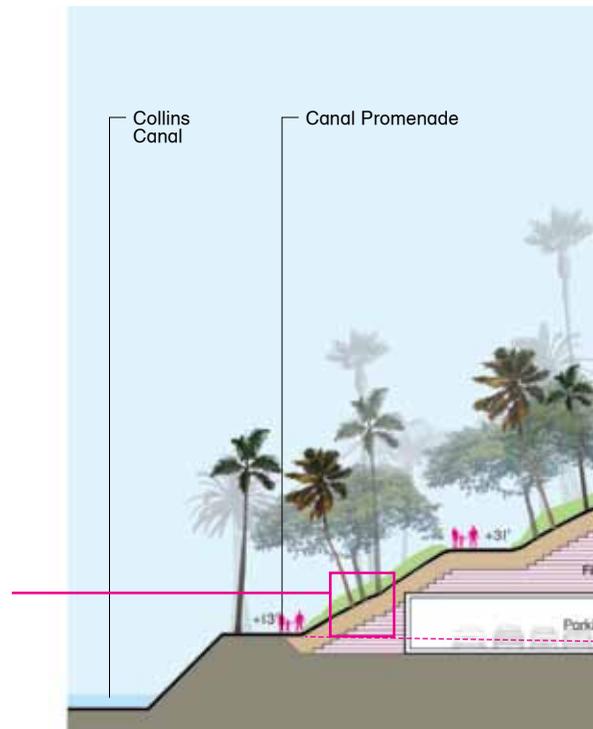
Fisher Fields



Section 4- Prospect Hill

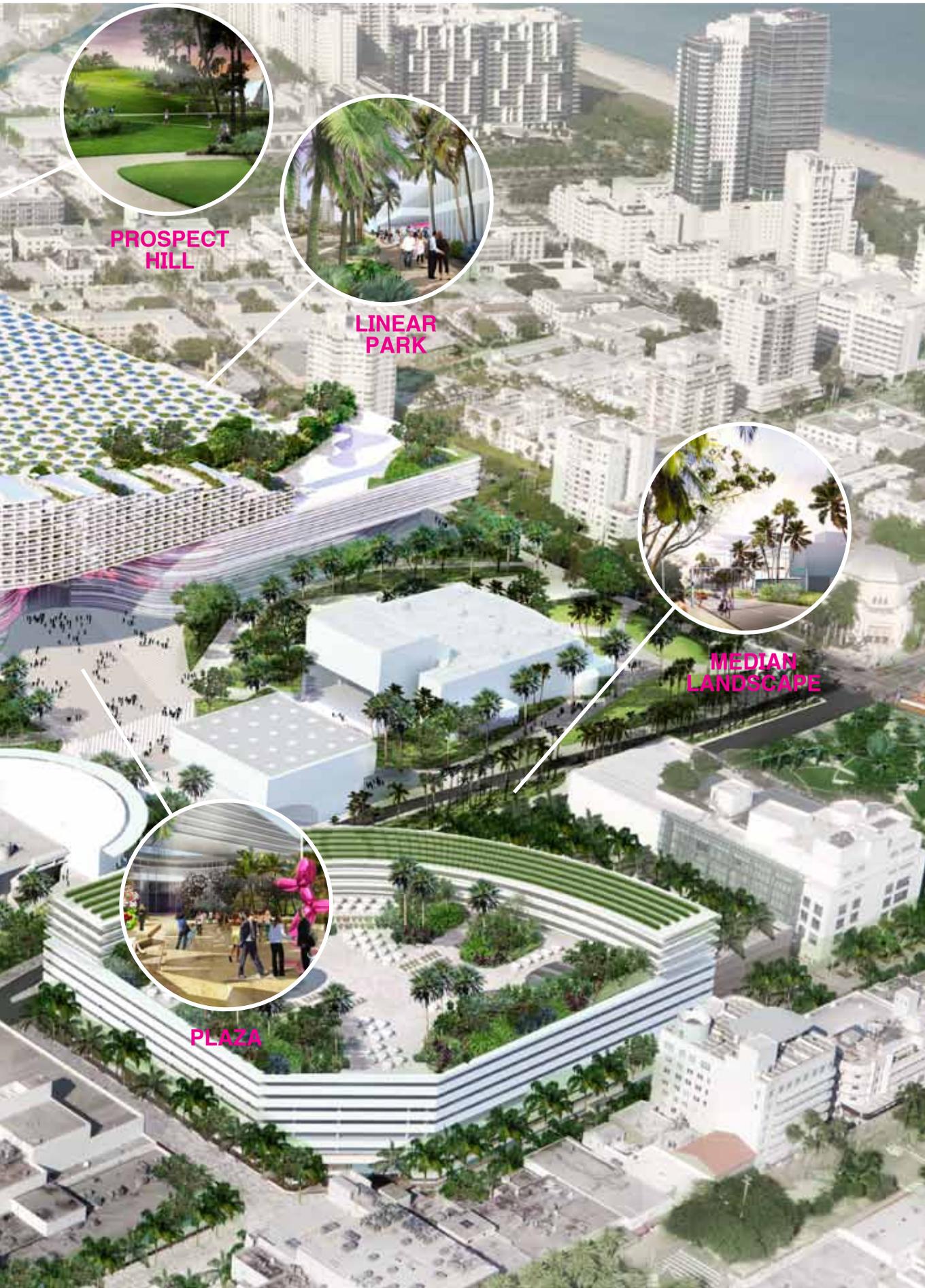


Detail Section



Section 5- Climbing Hill





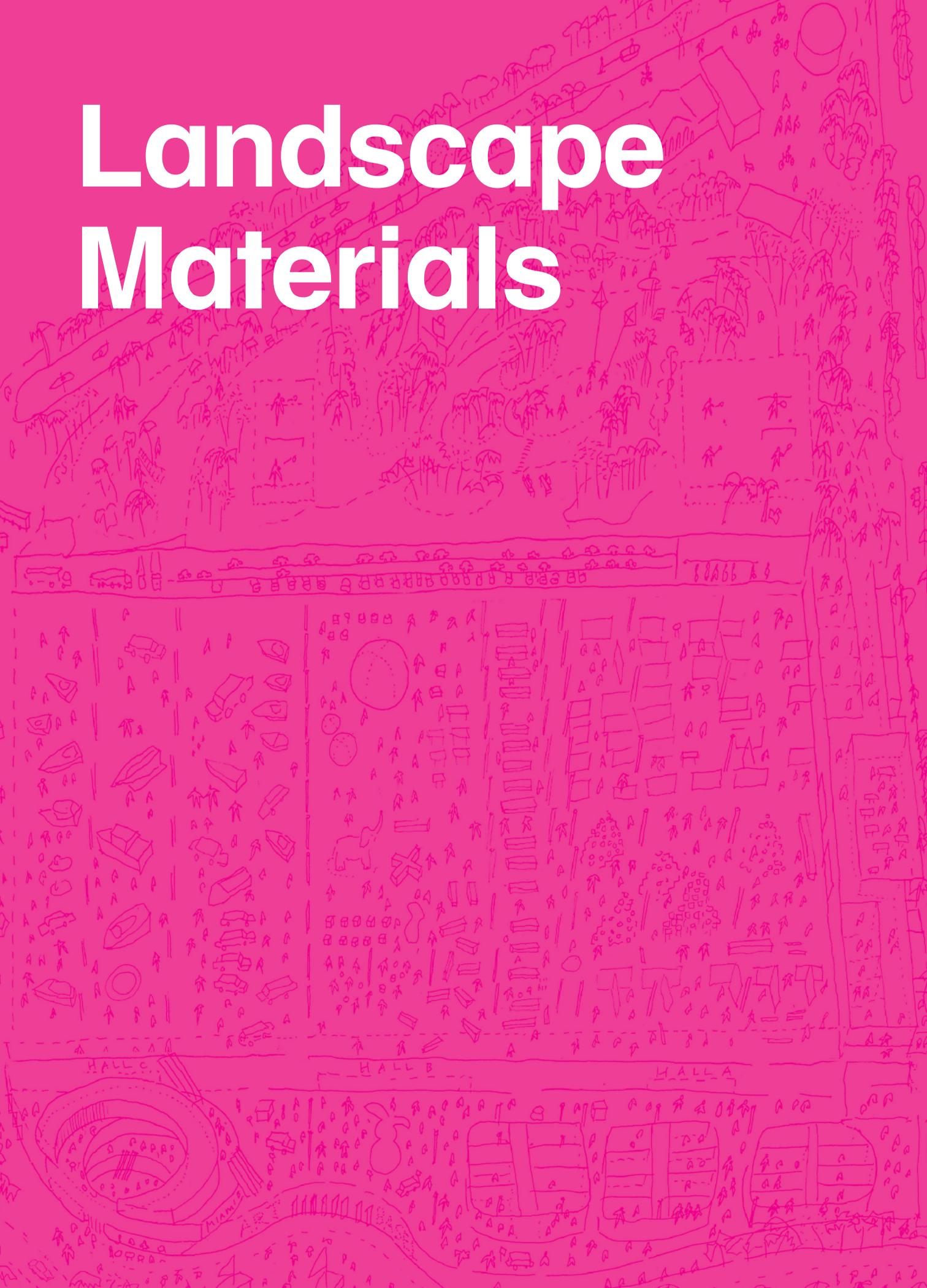
PROSPECT HILL

LINEAR PARK

MEDIAN LANDSCAPE

PLAZA

Landscape Materials



Paving & Seating



- Limestone & Exposed Aggregate Plaza (160,000 SF)
- Salted Concrete (286,637 SF)
- Shared Surface (128,810 SF)
- Decomposed Granite (37,680 SF)
- Playsurface (19,000 SF)
- Sport Courts (30,000 SF)

- Climbing Wall (500 LF)
- Concrete and Oolite Seatwall (5,370 LF)

Paths and Plazas

The system of paving materials balances safety, durability, and visual and tactile qualities to establish a hierarchy of public spaces. These areas of hardscape will direct stormwater runoff to plant beds, minimizing the site's impact on the municipal sewer system.

Seatwalls and Planters

A system of low walls encloses planted areas and provides places to sit in the shade. The use of oolitic limestone makes material reference to the geologic history of Biscayne Bay.

Pavement and Walls



Decomposed Granite



Exposed Aggregate Concrete



Limestone Planks



Playsurface – Poured in Place



Playsurface – Sand



Salted Concrete



Tennis Court



Climbing Wall



Concrete Seatwall



Oolite Seatwall

Trees



- Specimen Palms (38)- American Oil Palm, Bailey's Copernicia Palm, Florida Royal Palm, and Talipot Palm
- Mixed Palm Groves (700)

Palms

The extensive use of palm trees on the site ties it to the larger Miami Beach landscape and creates a high, even plane of greenery across the Convention Center District.



- Specimen Canopy Trees (23)- Boabob Tree, Kapok Tree, Banyan Tree, and Live Oak
- Canopy Trees (450)

Canopy Trees

With palms serving primarily as accent trees and local symbols, canopy trees are the microclimatic workhorses, creating generous areas of shade to make the site comfortable even in the middle of the day.

Palms



Silver Saw Palmetto
Acoelorrhaphe wrightii



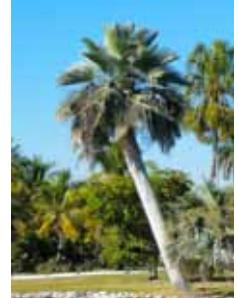
Bismarckia Palm
Bismarckia nobilis



Old Man Palm
Coccothrinax crinita



Miraguama Palm
Coccothrinax miraguama



Bailey's Copernicia Palm
Copernicia baileyana



Cuban petticoat palm
Copernicia macroglossa



Talipot Palm
Corypha umbraculifera



American Oil Palm
Elaeis guineensis



Florida Royal Palm
Roystonea regia



Sabal Palm
Sabal palmetto



Saw Palmetto
Serenoa repens



Key Thatch Palm *Thrinax morrisii*

Understory & Roofs



- Understory and Groundcover (414,190 SF)
- Lawn (174,240 SF)

Understory, Groundcover and Lawn

The volume and color of the understory help to define the landscape "rooms" on the site, while areas of open lawn create opportunities for passive recreation.



- Greenroof and Roof Garden (610,000 SF)

Greenroofs and Roof Gardens

Every new building in the proposal, in addition to the renovated Convention Center, features a green roof. Even in cases where the green roofs are uninhabitable, they will help mitigate the urban heat island effect and capture stormwater.

Canopy Trees



Baobob Tree
Adansonia



Samanea Saman
Albizia saman



Red Trunk Acacia
Acacia seyal



Gumbo Limbo
Bursera simaruba



Brazilian Ironwood
Caesalpinia



Kapok Tree
Ceiba pentandra



Silk Floss Tree
Ceiba speciosa



Green Buttonwood
Conocarpus erectus



Banyan Tree
Ficus benghalensis



Lignum Vitae Tree
Guajacum sanctum



Sausage Tree
Kigelia pinnata



Wild Tamarind
Lysiloma latisiliquum



Guiana Chestnut
Pachira aquatica



Live Oak Tree
Quercus virginiana



Mahogany Tree
Swietenia mahagoni

Understory Trees



Prickly Ash
Aralia spinosa



Marlberry
Ardisia escallonioides



Locustberry
Byrsonima lucida



Spiny Black Olive
Bucida spinosa



Verawood
Bulnesia



Wild Cinnamon
Canella winterana



Jamaican Caper
Capparis cynophallophora



Seven Year Apple
Casasia clusiifolia



Satin Leaf
Chrysophyllum oliviforme



Fiddlewood
Citharexylum fruticosum



Pigeon Plum
Coccoloba diversifolia



Seagrape
Coccoloba uvifera



Silver Buttonwood
Conocarpus erectus



Black Torch
Erithalis fruticosa



Blolly
Guapira discolor



Crabwood
Gymnanthes lucida



Dahoon Holly
Ilex cassine



Simpson Stopper
Myrcianthes fragrans



Flowering Banana
Musa ornate



Plumeria
Plumeria obtusa
'Singapore'



Allspice
Pimenta dioica



Bay Rum
Pimenta racemosa



Brazilian Rain Tree
Pithecellobium tortum



Jaboticaba
Plinia cauliflora



Traveler's Tree
Ravenala madagascariensis



Red Mangrove
Rhizophora mangle



Milky Way Tree Stem
Madenia littoralis

Accents



Aechmea Bromeliad
Aechmea 'Dean'



Imperial Bromeliad
Alcantarea imperialis



Fragrant Bromeliad
Alcantarea odorata



Caribbean Agave
Agave angustifolia



Coontie
Zamia pumila



Elephant Ear
Alocasia plumbea



Windowleaf
Monstera deliciosa



Zululand Cycad
Encephalartos ferox



LionsTail Agave
Agave attenuate



Leather Fern
Acrostichum daneifolium



Gum Palm
Dioon spinulosum



Philodendron magnificum



Philodendron 'Weeks' Hybrid



Philodendron 'Burlle Marx'



Jungles Bromeliad
Portea 'Jungles'

Ground Covers



Stalked Bulbine
Bulbine frutescens



Elliot's Love Grass
Eragrostis elliottii



Golden Creeper
Ernodea littoralis



Yellowtop
Flaveria linearis



Beach Blanket Flower
Gaillardia pulchella



Sea Purslane
Halimione portulacoides



Dune Sunflower
Helianthus debilis



Spider Lily
Hymenocallis latifolia



Railroad Vine
Ipomoea pes-caprae



Sky Blue Clustervine
Jacquemontia pentanthos



Donkey Ears
Kalanchoe gastoris bonnieri



Paddle Plant
Kalanchoe thyrsiflora



Apostle Iris
Neomarica gracilis



Wart Fern
Phymatosorus scolopendria



Fakahatchee Grass
Tripsacum dactyloides









Traffic



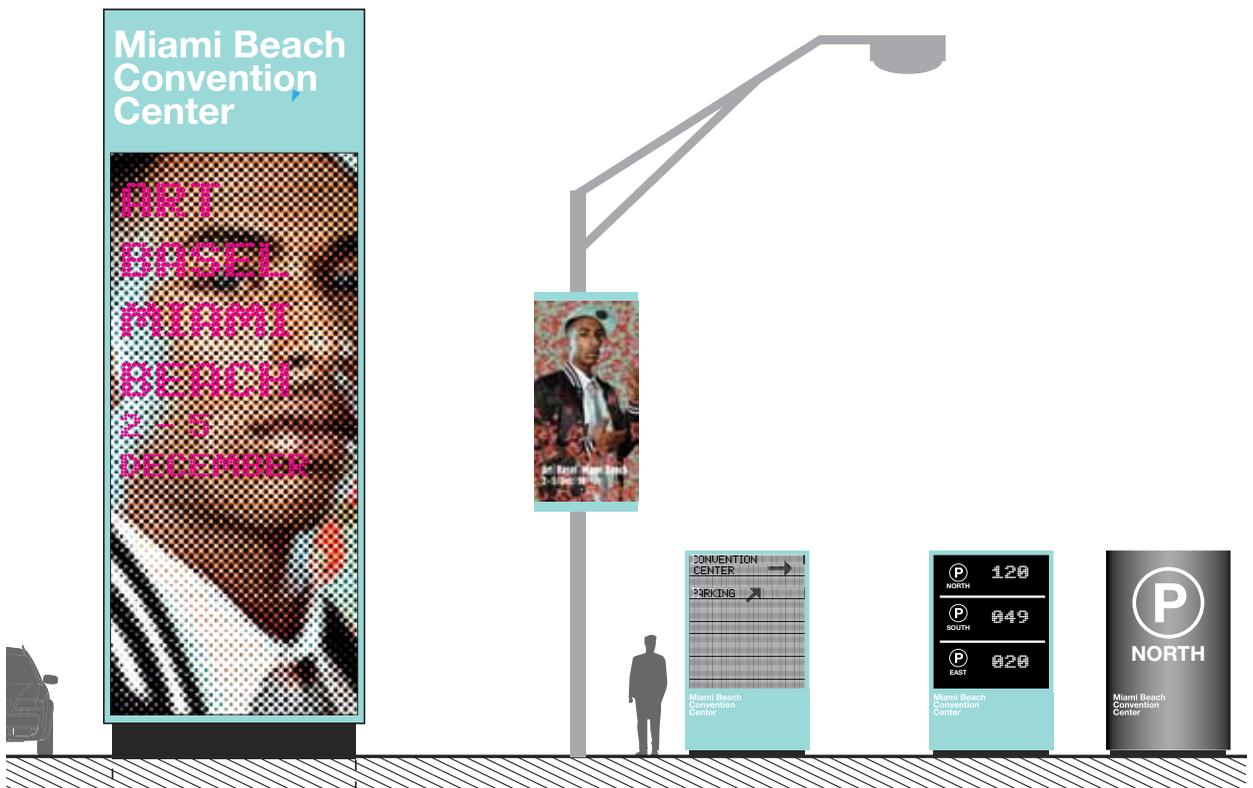
Wayfinding

MBCC Signage Concept

Site Signage

Miami Beach Convention Center will be a key destination for Dade County, bringing visitors and locals alike in multiple transportation forms from the larger urban network. To properly identify the site and its changing events, we are proposing a signage system that extends the bounds of the current site to the large urban network. Thereby addressing important vehicular traffic from the major highways and bridges onwards to the site. Our signage system incorporates digital signage as way to be flexible with content, allowing for both

utilitarian information and to broadcast current MBCC events. In general, our site signage system is based on a cylindrical obelisk, which is cut with information slices. The further you are away from the convention center and main entrances the more the cylinder is cut with dense information, leaving it a partial cylinder. The closer you get towards your destination at the convention center the more the signage becomes a pure cylinder with only one message, the name of your destination.



Digital Billboard

Banner

Digital Vehicular Directional

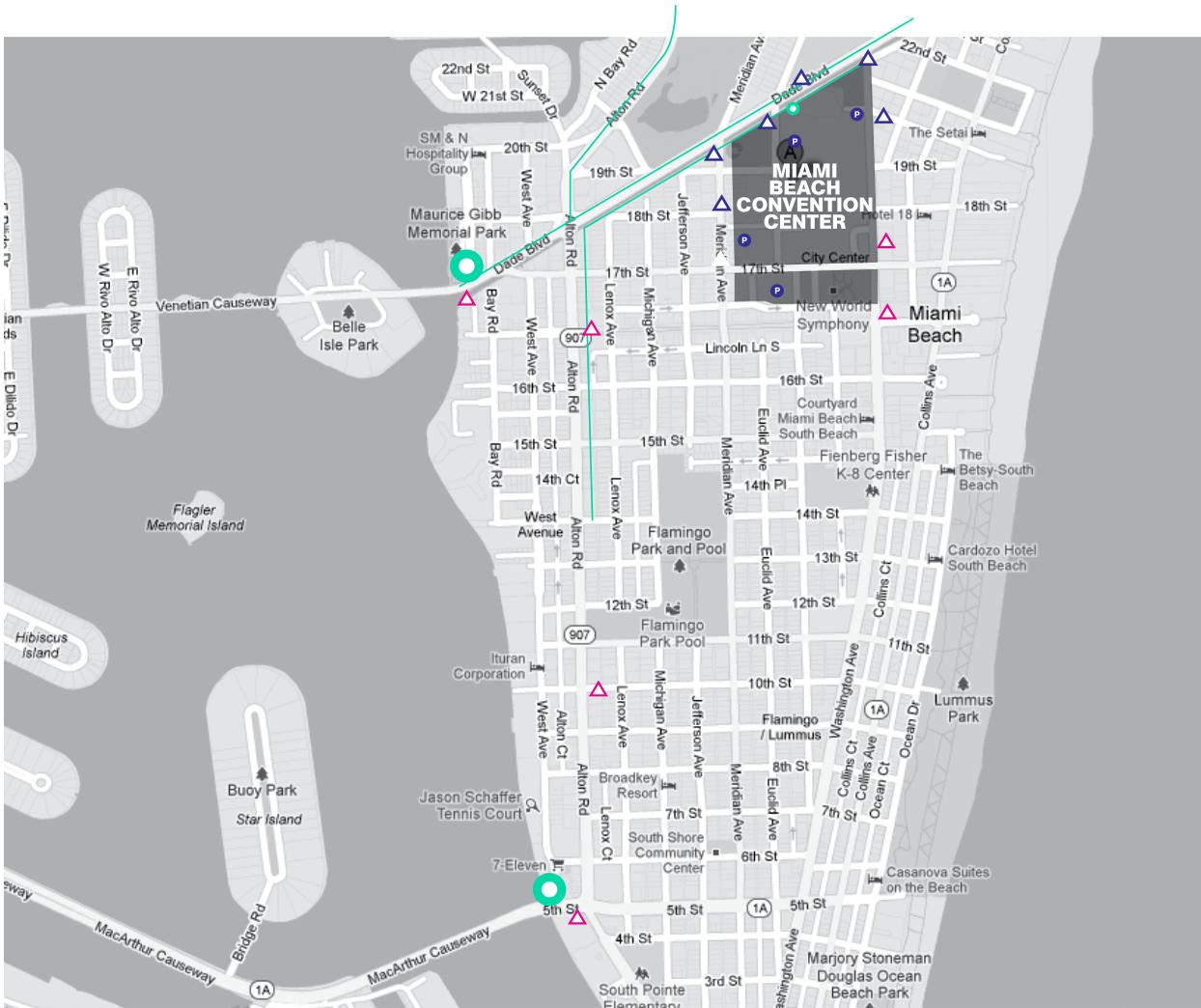
Digital Parking Directional

Parking Entry ID

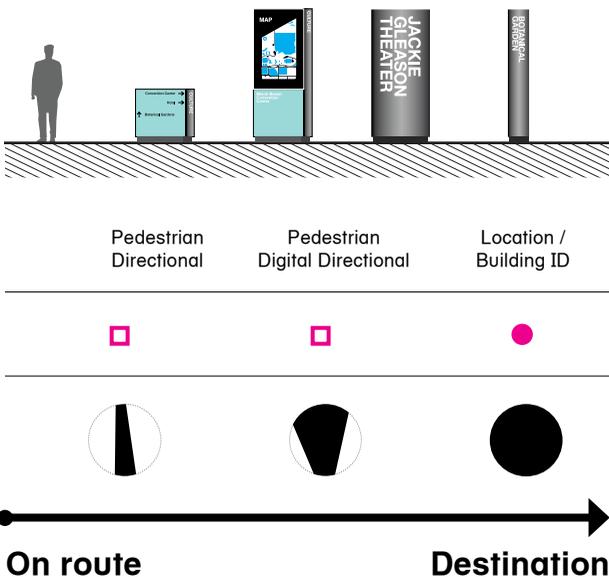


On route

Destination



- Digital Billboard
- ▲ Parking Directional
- ▲ Vehicular Directional
- P Parking Entry ID
- ◻ Pedestrian Digital Directional
- Program Banners



Interior Building Signage

As a venue for tradeshow, events, meetings, at various scales a Convention Center operates with flexibility and multiple purposes. Our interior signage system for the Convention Center takes in consideration this dynamic use of the convention center with a simple yet clear approach to building nomenclature. Rather than naming the concourses by names we directly name them by their orientation: East, South, West. In addition, we numerically name entrances to the halls as S1, S2 ... S5. By naming the doors rather than the halls we allow the convention center to be flexible to change to multiple conditions in the future. Allowing for clear signage for one big tradeshow or for multiple events in each hall.

Exterior Building Signage

To address the prominent entrance to the Convention Center and the MB Hotel, we are proposing two different scales of signage. For the Hotel we are proposing incorporating the smaller signage into the hotel porte-cochere facade. For the Convention Center we

would propose a composite sign of both LED within the façade spandrels and fritted glass letters for the actual title of the building. This creates a dynamic façade that can both broadcast its interior events and its name in varying level of subtly.



Hotel entry

Convention Center Entry

Traffic Plan Summary

The following pages briefly summarize our traffic plan as well as analysis of the impact of the new program and the effects of our proposals on existing traffic patterns and densities. With the exception of a centrally managed Intelligent Transport System (ITS), which would require a city-wide infrastructural commitment beyond the scope of this masterplan, all of the measures discussed herein are integral to our plan and have been evaluated for cost impact and feasibility. Please see our full traffic report, to be delivered May 13, for a more detailed description of our plan and analysis.

The main concept of the traffic plan was inspired from the direct observation of traffic patterns occurring during events at the Miami Beach Convention Center. Currently traffic from the the Julia Tuttle and Mac Arthur Causeways routes along Alton Road and then on 17th Street in order to reach both the parking facilities and drop-off kerbs next to the Halls. The current orientation of the building and the existing distribution of parking availability in the area conveys the idea that 17th street is the more convenient route to access the MBCC. However, despite the intense traffic on 17th street, it is common experience, also supported by qualitative measurements of traffic flows, that north of the Convention Center Dade Boulevard operates instead under capacity.

Circulation Plan - Cars

The main proposed arrangement of traffic takes advantage of this opportunity, reverting the current paradigm and proposing the main entrance for the vehicular flows from the north of the site branching off Dade Boulevard. This reorientation was made possible through an integrated design approach between traffic engineers and masterplanner: the former optimizing the traffic lights in the area, along Dade Boulevard especially, and exploiting the existing residual capacity, the latter by allowing in the masterplan such distribution of flows.

With respect to the circulation plan, the key benefits of the chosen approach are:

- the closure of Convention Center Drive between 17th and 18th street in order to inhibit through traffic, converting the space into a shared surface and reserving the street for MBCC operation traffic only;

- the creation of dedicated off-street facilities for drop-off and pick-up for both private cars and buses;
- the creation of a pedestrian exclusive area on the southern side, where flows from the drop-offs, the public transport stops and the adjacent cultural venues gather and engage with the MBCC to the north and Lincoln Rd to the south.
- the creation of an internal circulation loop that enables valet service to function effectively without impacting on the operation of adjacent roads;
- a private exclusive access for both the hotel and the residential program;
- a flexible arrangement of the internal circuit that allows the use of Convention Center Drive as an outdoor exhibition space.
- Parking structures for the MBCC and the Hotel are provided at the north and the south of the exhibition and meeting space with 1,388 and 500 spaces respectively. Most of the self parking will be located in the north facility which can be accessed by Convention Center Drive and Washington Av., as shown below. Additional parking space remains within the 17th Street parking garage.

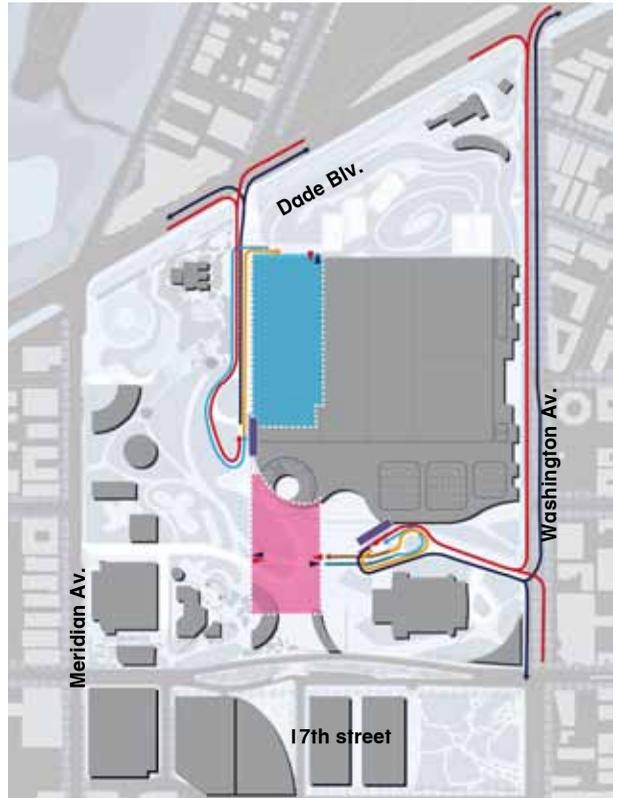
The residential area on the east side of Meridian Avenue is served by a 503 spaces parking lot accessed via Meridan Avenue. Alternatively, private cars using valet service will access the kerbs located at the southern edge of Convention Center Drive as well as on 18th street directly adjacent to the south meeting rooms.

Traffic heading to the hotel will route in a counter-clockwise fashion around a landscaped berm to reach the drop-off kerb. Afterwards, vehicles will be valeted to the parking below the hotel lobby through a roundabout and a ramp accessible from beneath the berm. The proposed layout also allows self-parking, avoiding drop-off when necessary.

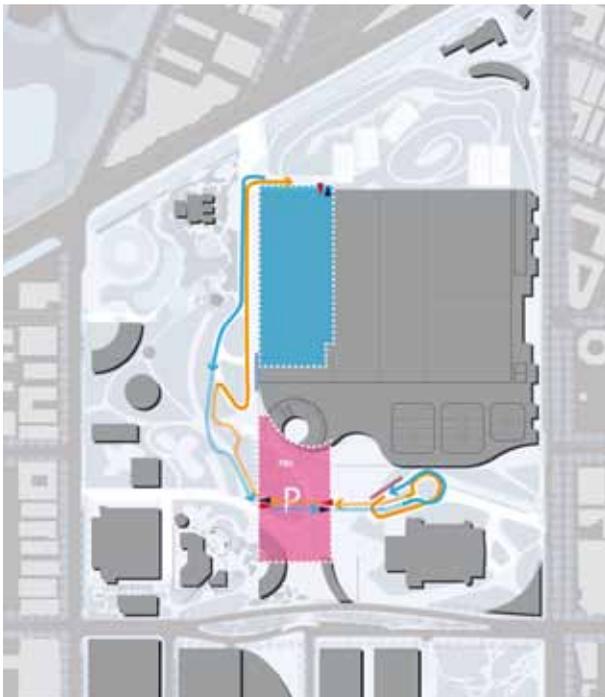
Finally, the berm clearance, the roundabout radii and the ramp slope are designed to allow goods vehicles access into the basement loading facility servicing the hotel. (Fig. 1 + 2)



1 Proposed entrance and exit patterns to the parking facilities (mainly self-parking)



2 Proposed entrance/exit patterns to the drop-off facilities on Convention Center Drive and 18th street (top), valet circuit (middle) and of the Hotel (bottom).



ITS

As part of the proposal, parking structures will be equipped with sensors monitoring in real time the degree of occupancy of each sector and reverting this information and other diagnostics back to the control room of the MBCC. This will result in a set of Variable Message Panels (VMP) which will be located along the perimeter roads of the MBCC advising drivers on parking availability and status. These can also be considered proper ITS devices and can be assumed as the first step of a broader strategy for dynamic wayfinding which could be used in the future to provide information on traffic conditions and advise motorists on the proper route to reach the MBCC.

Circulation Plan: Buses

In terms of buses circulation and drop-off, the proposed operational and geometric scheme makes allowance for the stacking of up to 25 buses divided in two facilities:

- along the western edge of Hall C, and
- along the southern facade next to the meeting rooms.

The double kerb offers the possibility to better distribute the flows and occasionally to close Convention Center Drive for events without impairing the functionality of the facility.



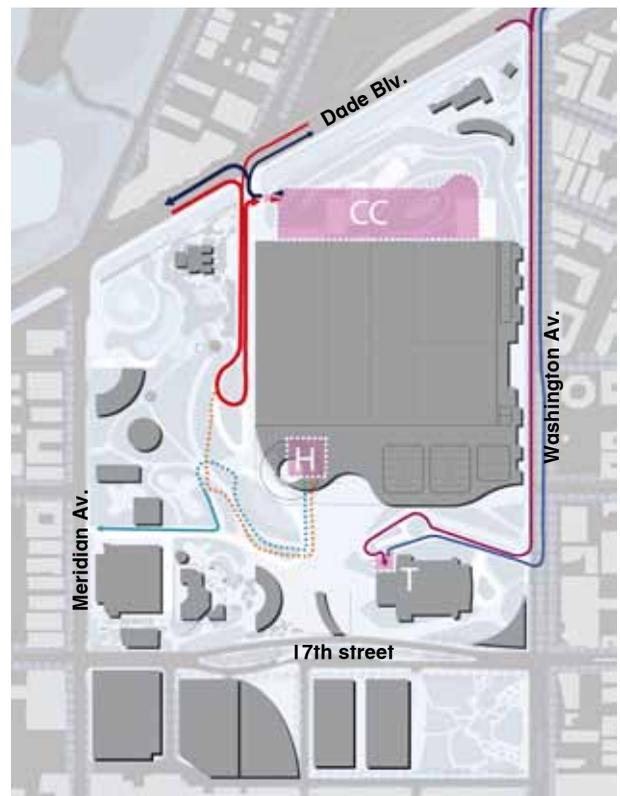
3 Proposed entrance/exit sequence of Buses

Circulation Plan: Goods Vehicles

Similarly to the private traffic, goods vehicles are planned to follow the same strategy:

- The main flow of goods vehicles is related to the operation of the MBCC and will access the site from Dade Blvd., exploiting the length of Convention Center Drive to orderly proceed towards the gate of the loading area at the north end of the halls. This will mainly occur during move-in and move-out days.
- The secondary flow of goods vehicles is related to the hotel and its loading facility located underneath the concourse next to the lobby. The entry to the facility is either from Convention Center Drive or Meridian Av. and, as per the valet, through the roundabout and the ramp beneath the landscaped berm down to the lower level. Vehicles entering from Meridian Av. can reach the ramp without circulating in front of the hotel's main entrance and drop-off.
- Finally, the loading area of the Jackie Gleason Theater will be accessed from the drop-off along 18th street.

■ Drop-off → Way in → Way out



4 Proposed entrance/exit sequence for loading facilities

Summary of proposals

The main modifications on the existing road network can be summarized in three major topics:

- pedestrian safety
- seamless integration with public transport facilities,
- protection of adjacent residential neighborhoods from through traffic heading to/coming from the Miami Beach Convention Center.

The primary objective is reached by introducing:

- a landscaped median along 17th street providing a safe space for pedestrians who can't complete the crossing;
- a pedestrian-only traffic light along 17th street in combination with the proposed crossings in the median and adjacent to the newly proposed/relocated bus stops;
- a pedestrian-only traffic light along 17th street in association with the connection to Soundscape Park; a traffic signal with associated pedestrian crossing along Meridian Av. at the crossing with 18th street;
- a pedestrian crossing ensuring continuity along Dade Boulevard @ Meridian Av.

In second place, the integration with the public transport service is ensured by relocation and, where necessary, addition of bus stops in the vicinity of the MBCC.

In particular a bus stop was added along 17th street at the corner with Pennsylvania Av. in order to facilitate the accessibility of those arriving by transit, and also to engage such flows in the public pedestrian space at the south of the Convention Center.

Furthermore, the consciousness of the potential development of transit within South Beach as envisaged by several planning documents and studies, led the design of the masterplan public realm.

Being accessible on three out of four sides, the plan is flexible in receiving flows of passengers from either the southern (17th street) as well as the eastern side (Washington Av.) whenever decisions will be made at higher levels of Public Administration on the routing of the so-called Bay Link.

Currently, the plan shows the provision for bus stops with dedicated lay-bys along 17th street, Meridian Avenue and Washington Avenue



5 Excerpts of the road layout plan showing ameliorments proposed for Washington Av, 17th St and Convention Center Dr.

Finally, an important part of the strategy for managing the mobility needs of the new MBCC is the safeguarding of neighboring residential communities from rat-running related to traffic heading to the Convention Center. This traffic is the main cause of excessive speeding, aggressive driving, but also noise and pollution for the residents of Palm View and Bayshore.

It is believed that only a physical barrier can ensure the level of enforcement required for this strategy and for this purpose two controlled accesses are proposed along 18th street and 19th street in the first block west of Meridian. These controlled locations will automatically filter vehicular traffic demanding to cross the neighborhood in relation to the possession of permit released by the municipality.

Accordingly,

- the residents will continue experiencing the same accessibility to their homes as today;
- the non residents will be prevented from travelling through the neighborhood (as a shortcut);

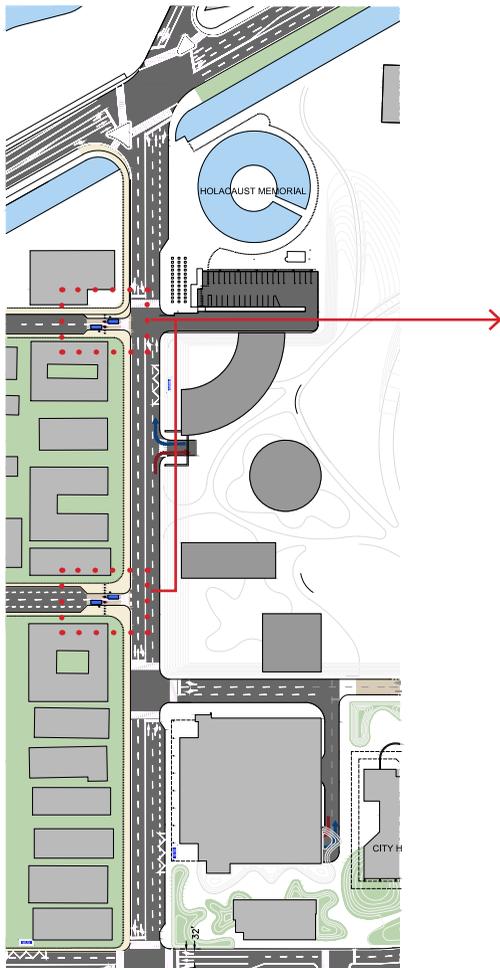
- access to the properties by non-residents will still be granted freely and at all times by accesses along 17th (Lenox, Michigan, Jefferson) which is deemed acceptable in relation to the advantages.

This strategy is based on the implementation of barriers (mainly pneumatic bollards) equipped with RFID technology sensors which will recognize and give access to vehicles of Palm View residents while inhibiting through traffic in the neighborhood.

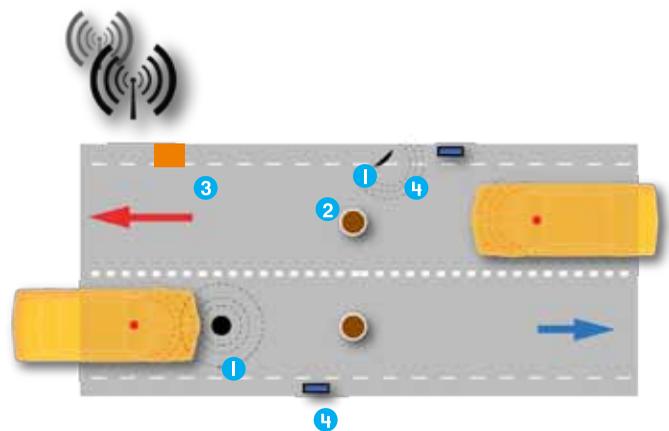
This system does not require connection to a remote database of authorized vehicles and it can be considered a proper wlocalized intelligence unit that doesn't require city-wide infrastructure to be implemented.

For this very reason it is readily implementable and effective from day one.

The same concept is proposed for Bayshore where the gate is proposed on Prairie Av. @ W 28th Street.



- 1 RFID antenna – INBOUND/OUTBOUND
- 2 Bollard/Physical barrier.
- 3 ECU/Control Unit – coordinates RFIDs response and triggers the mechanics of the bollards.
- 4 VOIP intercom to remote check-point within administration or local police (potentially) – in the semi-gated option, it is not required as back-up accesses are always available from 17th street.



6 Above a diagram representing the potential layout of the gates along Meridian Avenue.

Traffic Model

All the proposed interventions on the road network were assessed by means of a traffic microsimulation model which enabled a real-time assessment of the traffic conditions across the entire network enclosed in the study area.

This technique was chosen as it enables the assessment of the mutual effects of conditions at adjacent junctions. This allows, for example, evaluating the presence of back-blocking phenomena of intersections downstream as, for instance, the case of the intersection between Alton Rd and Dade vs. the intersection between Alton Rd and 17th Street. It is well known that the traffic problems at the former are dictated by lack of performance at the latter.

An extensive traffic survey exercise was carried out during two weeks in the month of February 2013 during and after the Boat Show 2013, thus providing the team with the necessary information to develop the model.

Existing condition scenario

The existing condition scenario addresses the current road network layout (i.e. current scheme, current arrangement of bus stops, traffic signals, pedestrian crossings etc...) against two situations: with and without events taking place at the MBCC.

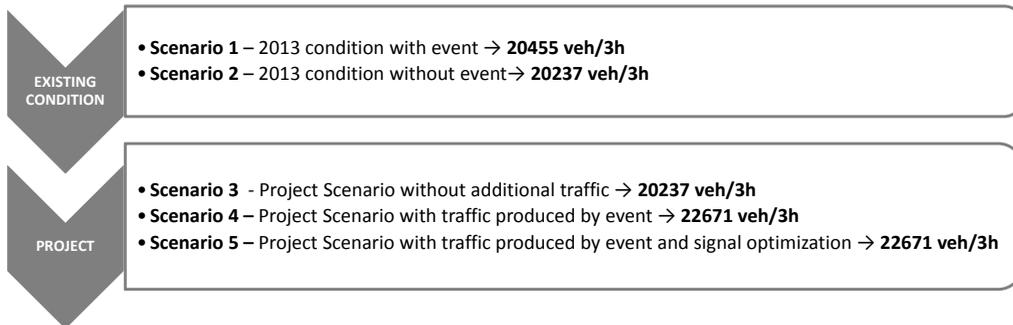
In the full traffic report technical details about the calibration and validation of the model can be found.

Project scenario

The Project Scenarios are evaluated by introducing one step at a time the modifications to either the road network and the amount of traffic estimated.

These are:

- Road network as per the revised geometry + traffic as conditions without event;
- Road network as per the revised geometry + traffic as conditions with event and additional program;
- Road network as per the revised geometry + traffic as conditions with event and additional program + traffic signal optimization (i.e. with the proposed mitigation measures).



7 Diagram of the modelled road network within the study area in the existing (left) and proposed scenario (right)

 Traffic Analysis Zone
 Parking zone

 Traffic Analysis Zone
 Parking zone
 New MBCC zone

Trip Generation

The project scenario includes the share of traffic related to the redeveloped MBCC and to the additional program located across the site.

This includes:

- 633,730 sqf of hotel space,
- 447,000 sqf of residential space, and
- nearly 100,000 sqf of retail space of which 59,500 sqf concentrated on 17th street at Pennsylvania Av.

The amount of traffic added on the road network and due to the additional program is:

- 216 veh/h in the AM peak, and
- 422 veh/h in the PM as a bi-directional value.

The amount of traffic added on the road network and due to the activity of the MBCC is:

- 1460 veh/h in the AM peak, and
- 1422 veh/h in the PM peak.

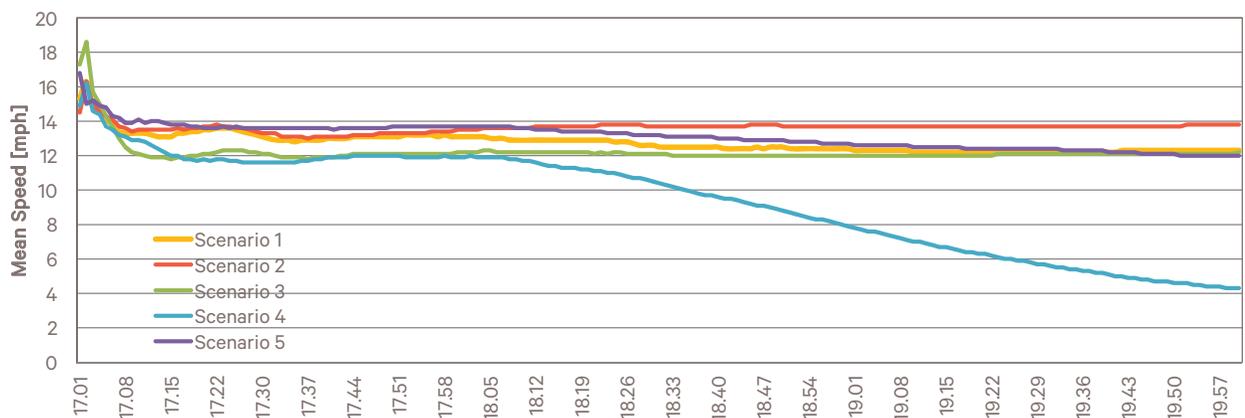
Detailed assessment of the traffic generated by all components of the masterplan is included in the full traffic report.

Results

The assignment of traffic demand to the network produces different consequences in relation to the road network characteristics. With reference to the chart and table here below, the behavior of the network can be explained:

1. The existing condition with event operates at a mean speed value of 12.3 mph (includes time spent in line, time spent at the traffic lights etc ...) which improves to 13.8 mph (+12%) when events are not in place.
2. The modifications to the road network induced by the MBCC, excluding the traffic signal optimization (e.i. with the same traffic signals as of today), shows a decrement of the performance of the network of 11.5%
3. Scenario n° 4, featuring the proposed road network with the total additional traffic, but without traffic signal optimization produces a significant loss in performance reaching values of 4.3 mph and inducing queues beyond the extent of the study area (i.e. 8% of the vehicles demanding to enter the study area don't manage to do so and are queuing outside).
4. Finally, the proposed traffic signal optimization is introduced in Scenario n°5 showing traffic performances similar to the existing condition; 12.0 mph vs 12.3 mph (i.e. a negligible decrease of only 2%).

Scenario	Performance						
	avg. travel time [sec]	vehicles assigned	mean veh speed [mph]	tot. vehicle travelled distance [m]	tot. travelled time [h]	matrix dimension	assigned vehicle vs n° of veh. in matrix
Scenario 1	160	20397	12.3	11119	905	20455	100%
Scenario 2	143	20169	13.8	11025	802	20237	100%
Scenario 3	165	20322	12.2	11283	929	20237	100%
Scenario 4	480	20883	4.3	11832	2784	22671	92%
Scenario 5	174	22777	12.0	13121	1098	22671	100%



8 Chart representing the average cumulative speed on the modelled network over the entire duration of the 3 hours long simulation. This is a typical key performance indicator of dynamic microsimulation models and shows the accounts for the average travelling speed of each vehicle that during the simulation perioda has demanded to be assigned on to the network.

In other words, the proposed strategy, manages to offset completely the impacts of the additional traffic related to the proposed program and MBCC operation during an event.

The Figures 9 and 10 below also show in a diagrammatic form the existing condition vs the proposed optimized project condition in terms of queues distribution (Fig. 9) and traffic flows (Fig. 10) on the road network.

It is clearly evincible the effect of displacement of traffic from 17th street toward Dade, as desired, with the consequential benefit for 17th Street current congestion.

Comparing the project and the existing condition, it is noted that queues at intersections along 17th Street reduce while they slightly increase along Dade. Similarly, the traffic flows are shifted north from the

exits of the car park on Convention Center Drive and Washington Avenue.

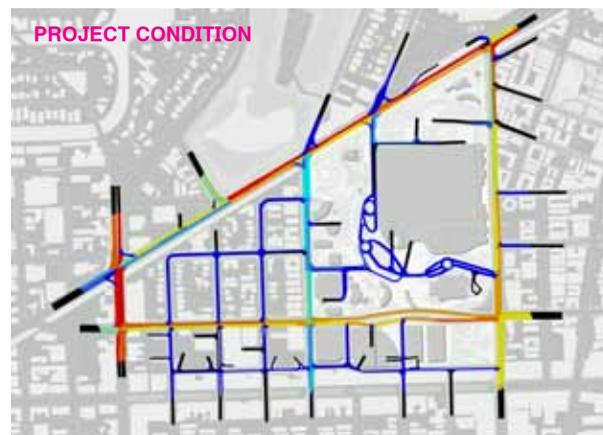
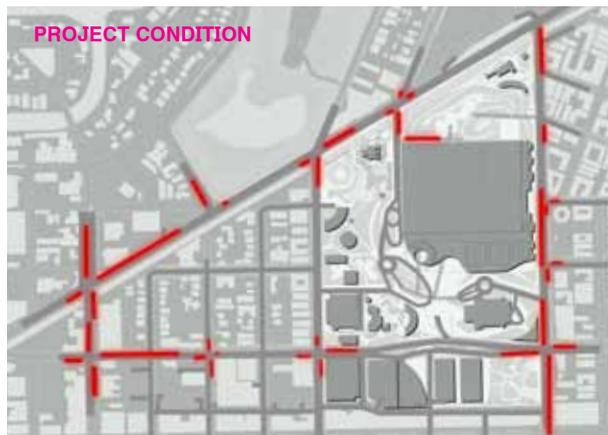
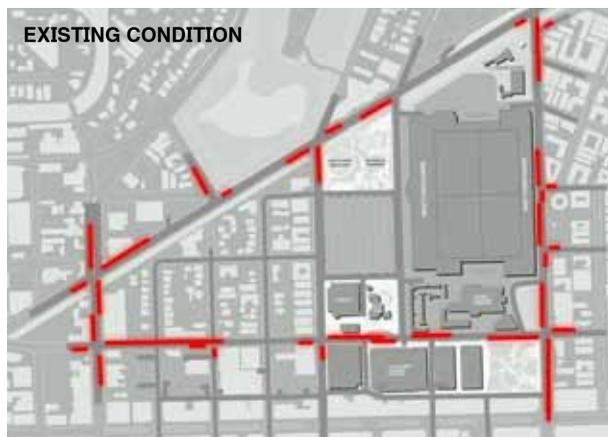
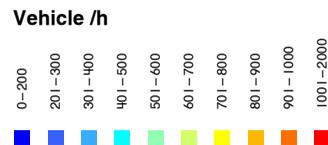
Also, from the diagram of the project scenario it is noted that the internal valet circuit operates with flows lower than 200 veh/h which is compatible with the concept of pedestrian friendliness that inspired the shared public space.

Meridian Avenue, which bears all traffic to/from the Hotel and the Residential program is also operating with flows lower than 500 veh/h similarly to the existing condition, thus suggesting that the impact is offset.

The full traffic report with all the details on the calculation of trips and the modelling process will be issued on May 13th, 2013.

9 (left) Length of average queues at traffic signals within the study area during an event in the existing condition (upper) and in the proposed condition (lower) e.i. with the new road layout and with the optimized traffic signals.

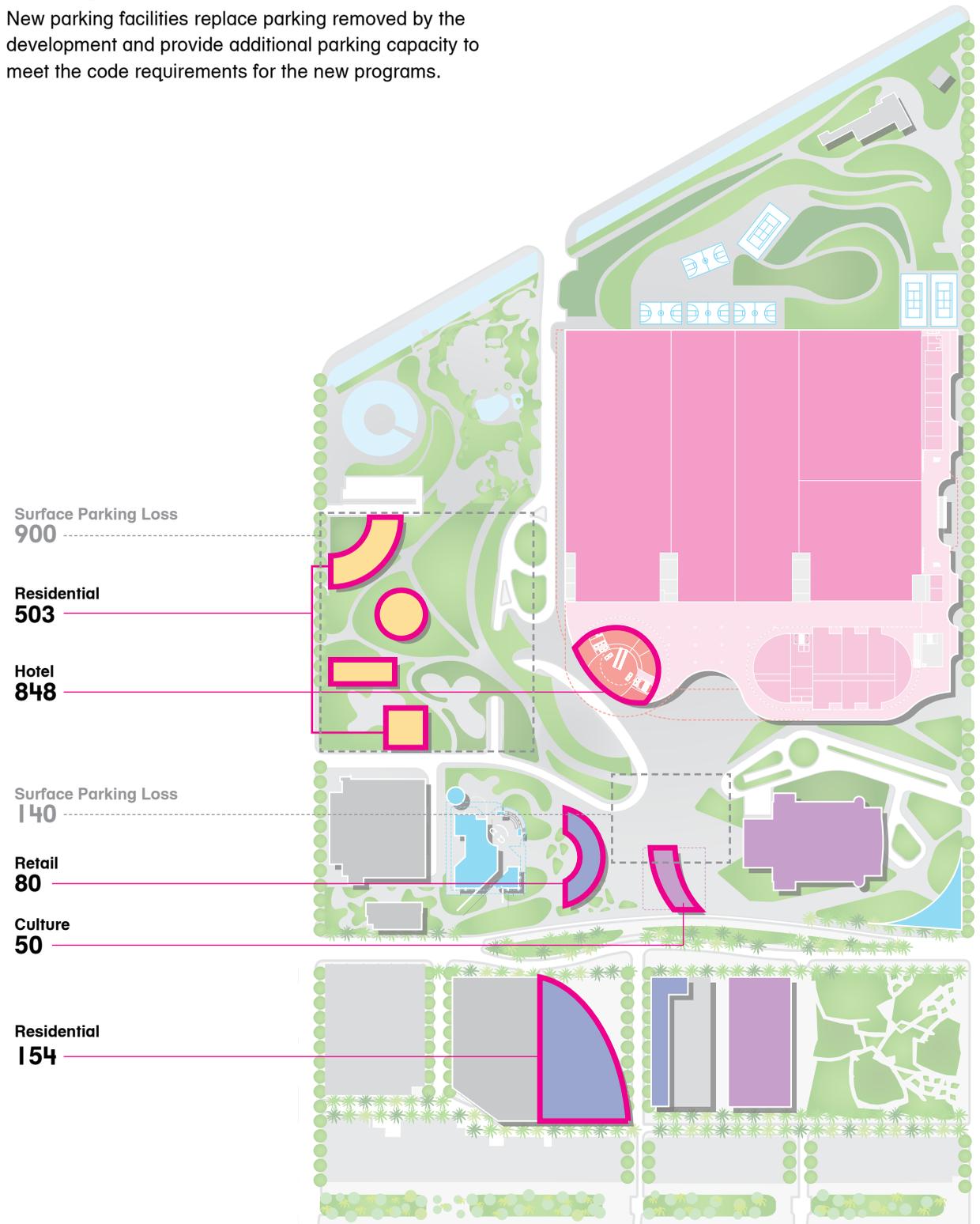
10 (right) Distribution of traffic flows within the study area during an event in the existing condition (upper) and in the proposed condition (lower) e.i. with the new road layout and with the optimized traffic signals.



Parking

Parking Requirements

New parking facilities replace parking removed by the development and provide additional parking capacity to meet the code requirements for the new programs.



1 Convention Center

Within Existing 2,490 Parking Spaces to remain or be replaced on site

2 Hotel

800 Units (@0.5 parking space per unit)	400 spaces
55,000 sf Hotel Meeting (45,000sf @ 1 parking space per 105sf – 15sf per hotel unit)	410 spaces
10,000 sf Food and Beverage (10,000sf / 15sf per 2 hotel units / 105sf per parking space)	38 spaces
2,000 sf Retail (2,000sf @ 1 per 500 sf – 7.5sf per hotel unit)	0 spaces
TOTAL F&B Venue (40,000sf @ 1 space per 500sf) as agreed per meeting with CMB 4/2/13	848 spaces 80 spaces

3 Residential /Parking

Residential Parking (262 units @ 1.75 spaces / unit +10% guest parking)	503 spaces
TOTAL	503 spaces

4 Jackie Gleason (to remain) “Existing Non Conforming”

5 Culture

Cultural Assembly (assumption 15,000sf assembly space at 1 space / 300sf)- as agreed per meeting with CMB 4/2/13	50 spaces
--	-----------

6 I7th Street Parking (Existing) / Retail/ Residential

Retail Spaces (59,500sf) parking district 2 – retail exempt	0 spaces
Residential (80 units @ 1 space per 1.75 spaces/unit+ 10% guest parking)	154 spaces
TOTAL	154 spaces

Additional Parking Program **1,635 spaces**

Existing parking (2490)

P-LOT	– 900 spaces	
Additional Surface Parking		– 140 spaces
Total	– 1040 spaces	

Total Replacement Parking 1,040 spaces

Total On Site Parking Required **4,125 spaces**

1,635 (new) 2,490 (existing)

Parking

Proposed Parking (Program Allocation)

Parking facilities are strategically arranged throughout the site to provide access adjacent to drop offs and preferred access points. Access to Valet parking (underground south of the Hotel and above Hall C in the North parking facility) is arranged to prevent valet traffic burdening adjacent neighborhood roads or new pedestrian corridors.

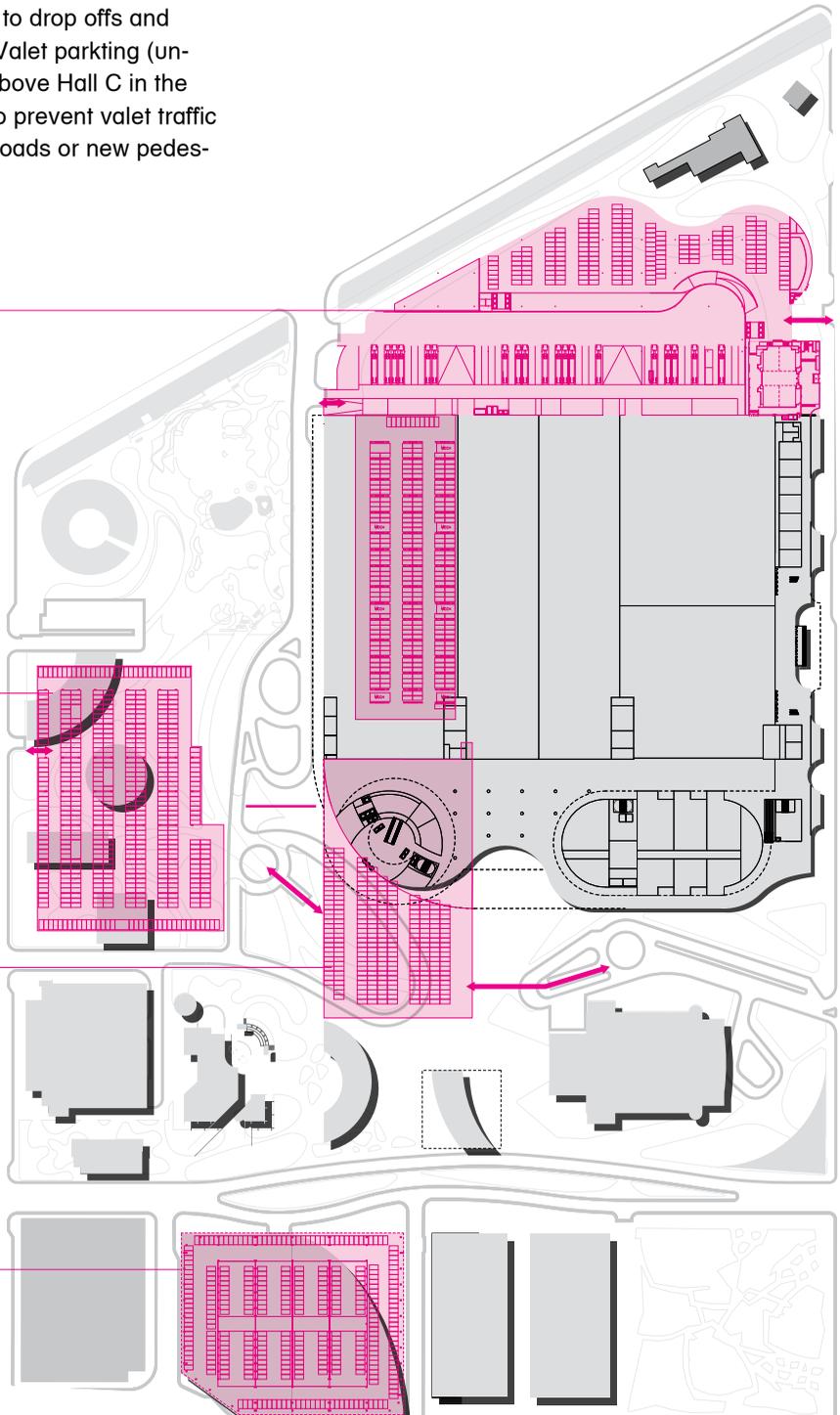
1,388
RÉPLACEMENT:
1040 (100%)

HOTEL : 348
(41%)

503
RESI : 503 (100%)

500 (VALET)
HOTEL : 500 (59%)

1,750
EXISTING: 1450
17TH ST RESIDENTIAL: 154 (100%)
F&B / CULTURE : 130 (100%)
EXTRA = 16



Total Existing Parking	2,490
-------------------------------	--------------

Total New Parking Program	1,635
Replacement Parking	1,040
17th Parking	1,450

Total Parking Required	4,125
-------------------------------	--------------

North	1,388
0' – 194 (Self Park)	
10' – 92 (Self Park)	
20' – 400 (Self Park)	
30' – 132 (Self Park)	
40' – 159 (Self Park)	
Over Hall C (38') - 411 (274 Valet Stacker, 137 Self Park)	

P - LOT Residential	503
1 level at grade, under landscape	

Hotel/Culture - Btwn 17th and 18th	500
1 level at Subterranean Valet with Stackers	

17th ST Garage	1,750
Existing Parking	1450
Loss Of Spaces For Retail	-360
Add 2 Levels Self Park Total	660

Total Parking Provided	4,141
-------------------------------	--------------

Structure



Convention Center and Hotel

Convention Center & Hotel

The design and structural strategy of the new MBCC seeks to make maximum use of the building's existing structure where possible, while introducing new structure to accommodate the stacking of the building's various functions, including long-span ballrooms, meeting rooms and parking facilities.

Above the new Hall C, a parking level is located within the trusses that accommodate the 90-foot spans of the exhibition hall. Further complicating this arrangement is the location of a long-span ballroom above the parking structure. This is accomplished through the use of storey high trusses that support the ballroom floor above and hang the parking floor below. Openings within the trusses allow for parking circulation. The bottom chord of the full-storey trusses is exposed within the ballroom below to provide hanging points within the hall.

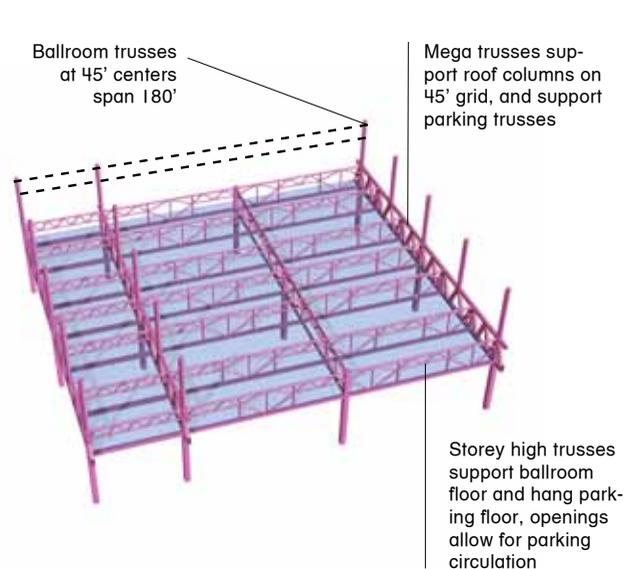
At the southern end of the Convention Center, a new concourse is to be built within a portion of the existing hall structure. In addition, two levels of meeting rooms are to be constructed within the existing hall clear height, with hotel meeting rooms and a roof deck and pool to be constructed above the level of the current structure. To accommodate these additions, new

columns will be integrated with the existing structure to accommodate the load from the new convention center meeting and hotel levels above. The reinforcement of existing columns may also be necessary in some areas.

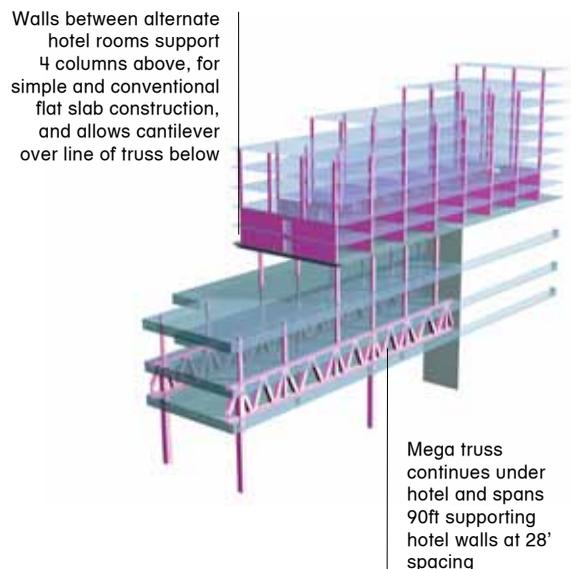
The dramatic span of the hotel over the Convention Center entry is accomplished via the integration of multi-level trusses into the building's perimeter. These trusses span three levels and are calibrated to allow each hotel unit access to views and exterior balconies. Concrete walls at alternating room divisions allow columns within the upper hotel floors to transfer to the trusses at the building's perimeter. These measures allow for concrete construction of the hotel, minimizing slab thicknesses and overall building height.

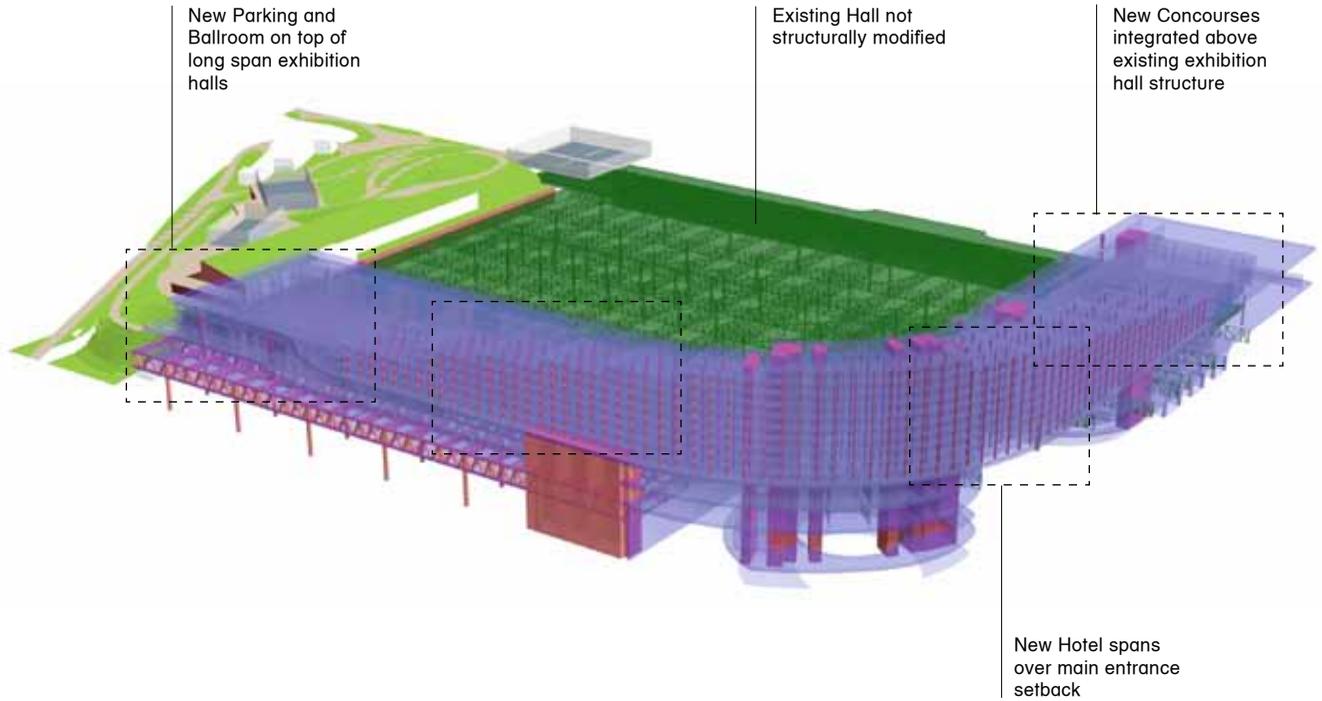
A similar strategy is to be deployed where hotel levels are above prefunction areas on the west side of the Convention Center. There, alternating concrete walls transfer column loads at the upper levels to mega-trusses within the exhibition hall truss level. This arrangement allows the interior columns within the hotel levels to be transferred to the perimeter before they interrupt the prefunction areas below.

Ballroom Over Parking Over Exhibition

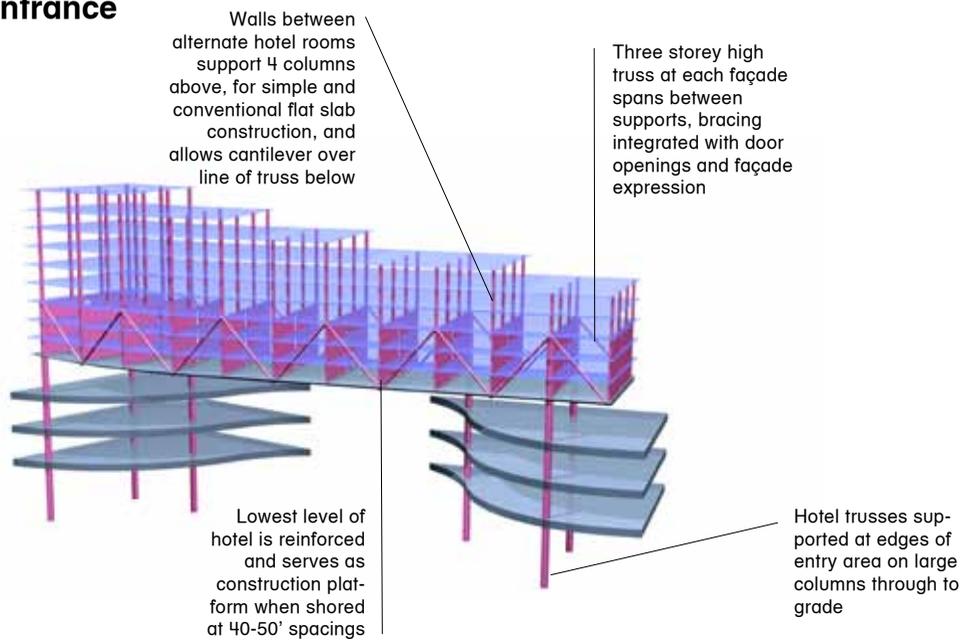


Hotel Over Exhibition



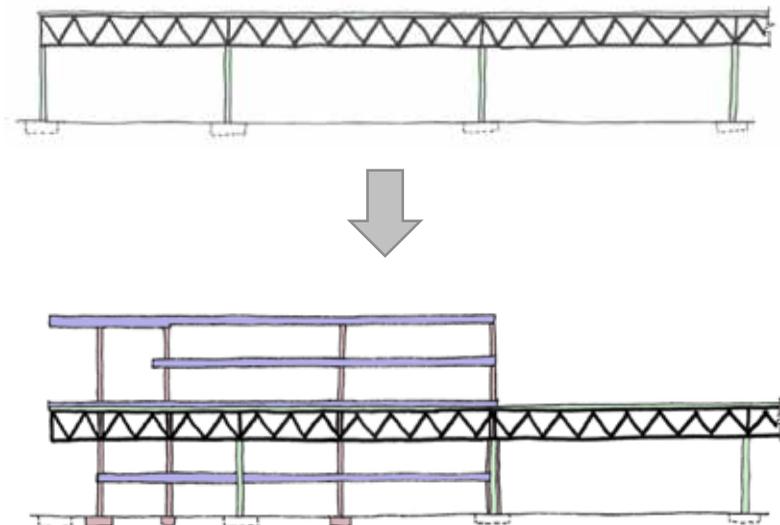


Hotel Over Entrance



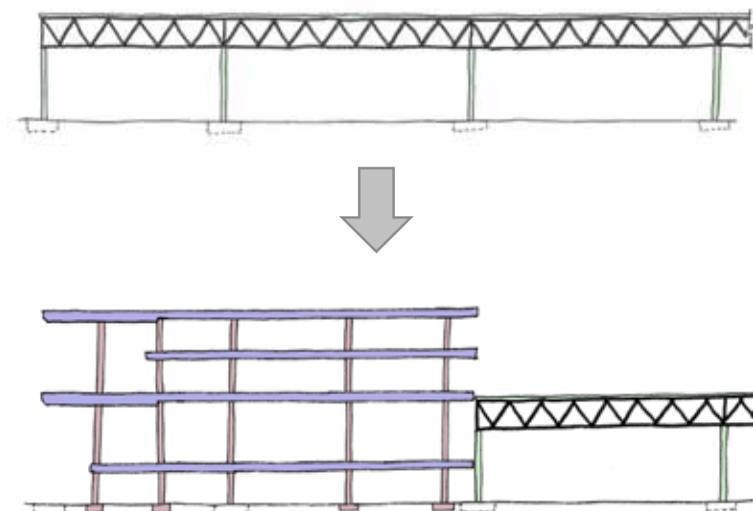
Convention Center and Hotel

New Structure Over Existing Halls (Alternate 1)

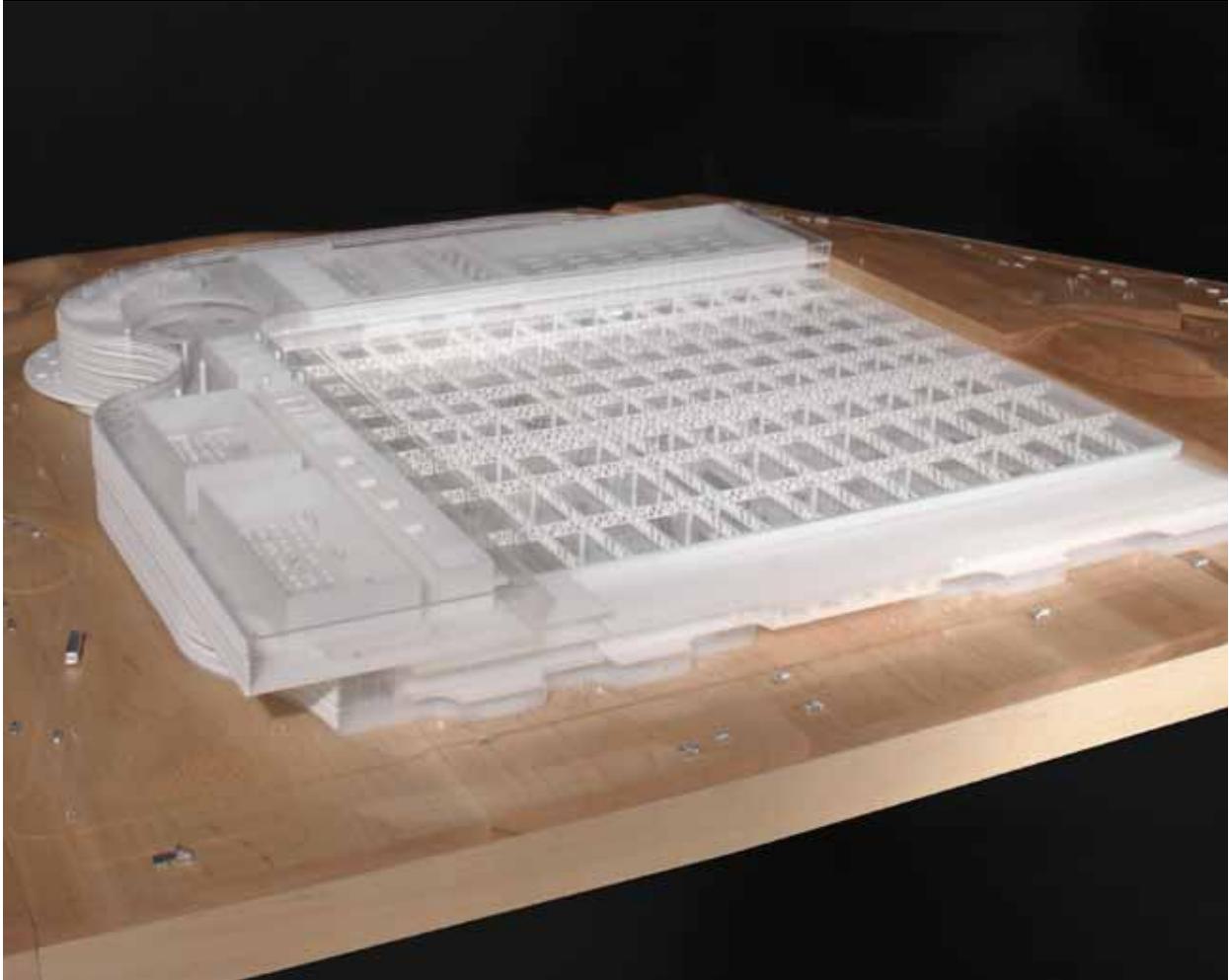


- New Structure and including new columns and foundations coordinated to align with new partition locations
- New structure shortens span and allows higher loads on truss.
- By carefully locating new columns to relieve loads, some existing columns and trusses may not require modification

New Structure Over Existing Halls (Alternate 2)



- Existing structure cut and demolished at column line
- New construction may be faster and cheaper due to lack of existing structure to work around
- Freedom to locate columns for program efficiency and no trusses to plan around
- New structure independent of existing



17th Street Garage

17th St. Garage Existing Structure

The proposed modifications of the 17th Street Garage envision the addition of two additional parking levels and three new residential levels above the existing structure. In addition, a portion of the second floor slab is proposed to be demolished to allow for appropriate ceiling height for a retail function at the ground level.

The existing building is a post-tensioned concrete structure with two expansion joints running north to south along the lines of the parking ramps at the center of the building. The proposed modifications will require jacketing of the existing concrete columns to accommodate additional loads, as well as the reinforcement of the existing foundations, either by enlarging the existing spread footings (if the soil bearing pressure is adequate) or by installing new augercast piles in combination with the existing foundations.

Below is a summary of the anticipated modifications in each zone of the building. These strategies are based on a study of the available documentation and are subject to concrete testing of the existing building. These tests will form the basis for an analysis of the stresses created in the existing columns by the new structure to determine which are overstressed. This will in turn inform the extent of jacketing required beyond the ground level.

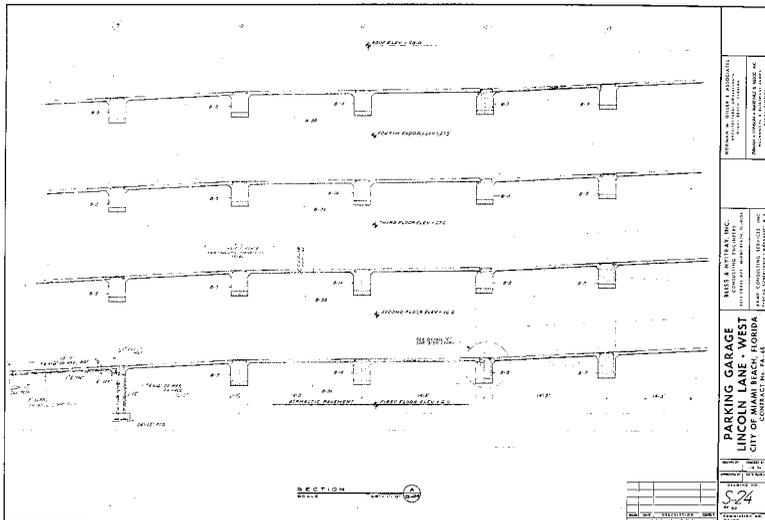
At level 2 existing structural framing will be demolished to accommodate retail, columns will be jacketed to address slenderness effects and also increased loads from additional parking and residential levels above.

Levels 3 thru 5 are existing parking levels. The framing will remain as it is currently, with exception of jacketing for columns, interaction with new shear walls (locations will be coordinated with the architect).

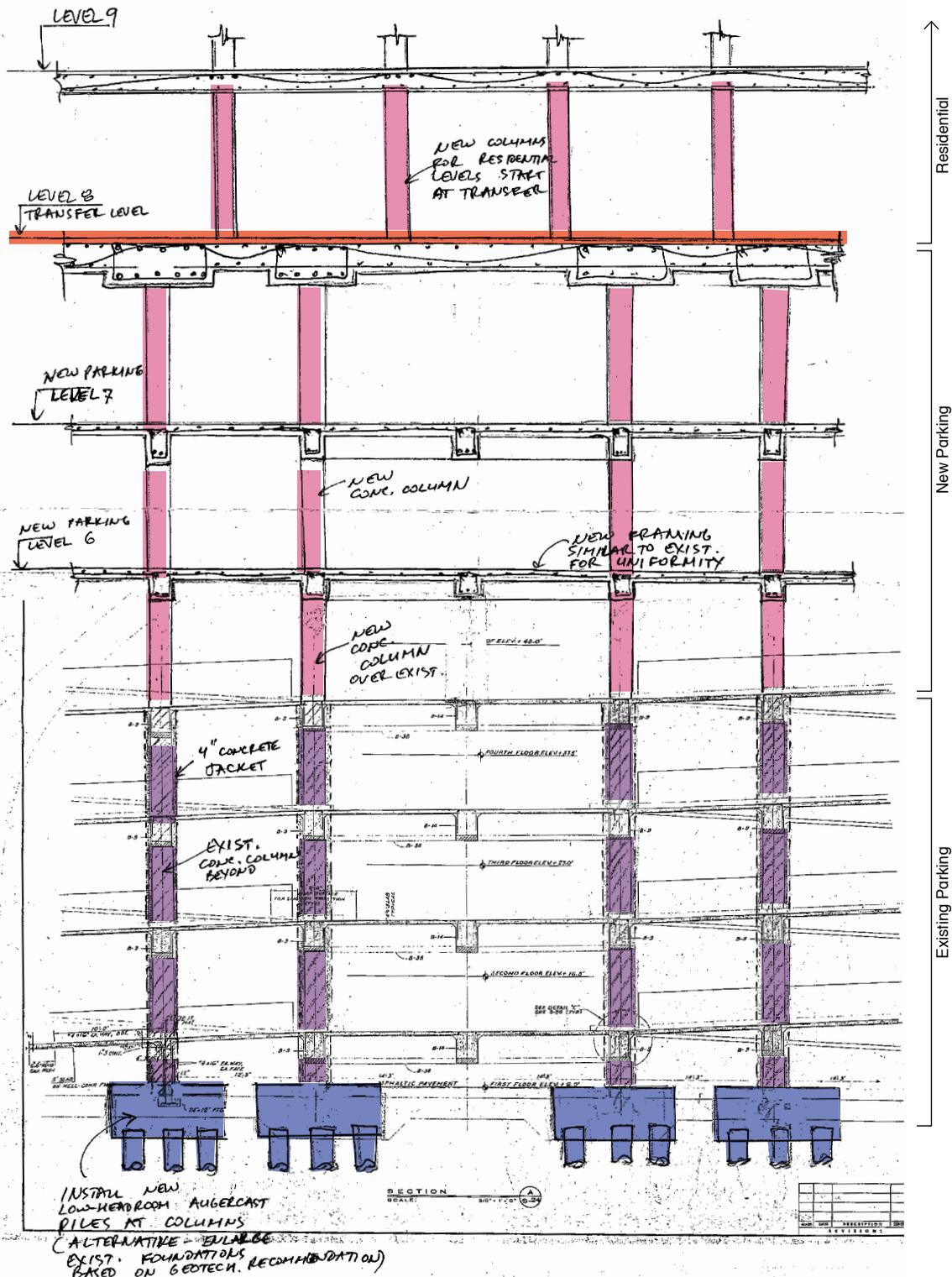
Levels 6 thru 7 are new parking levels. They will be framed similar to existing levels (design post tensioned beams with concrete slab spanning between beams), to maximize uniformity with the existing building.

Level 8 will be a transfer level between parking and residential layouts, to allow maximum flexibility in the form and layout of the residential levels.

Levels 9 and 10 will be new residential levels with their own columns separate from the structural grid of the levels below. It is anticipated that post-tensioned concrete slabs will be utilized for levels 9, 10 and Roof. Conventionally reinforced concrete slabs may also be utilized depending on the column spacing, which will be further evaluated during the design.



17th St. Garage Existing Structure



Residential

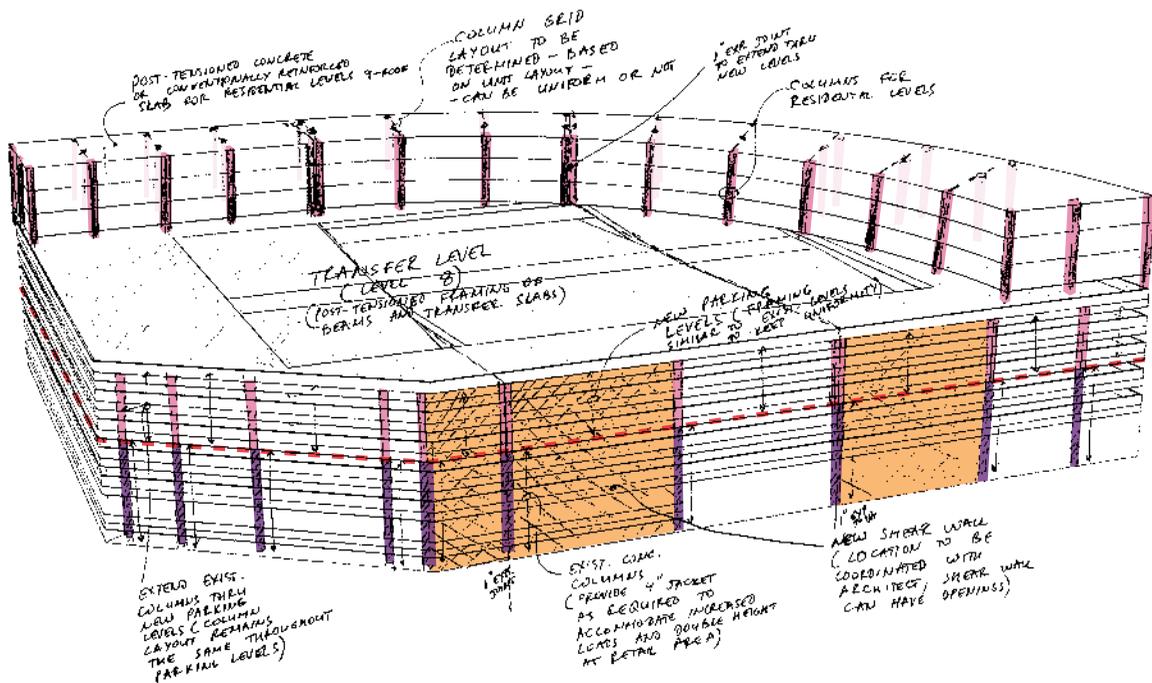
New Parking

Existing Parking

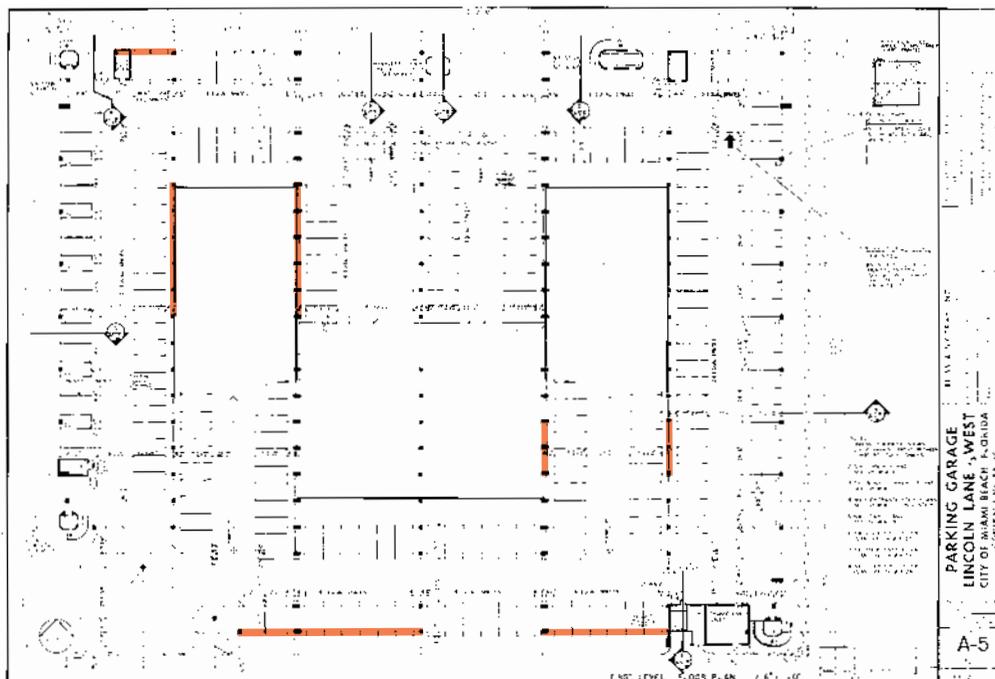
- Transfer Slab
- Strengthen Existing Columns with 4" Concrete Jacket
- New Columns
- New Auger Piles Or Enlarged Existing Foundations

17th Street Garage

New Structure Proposal



Potential Shear Wall Locations



Sustainability

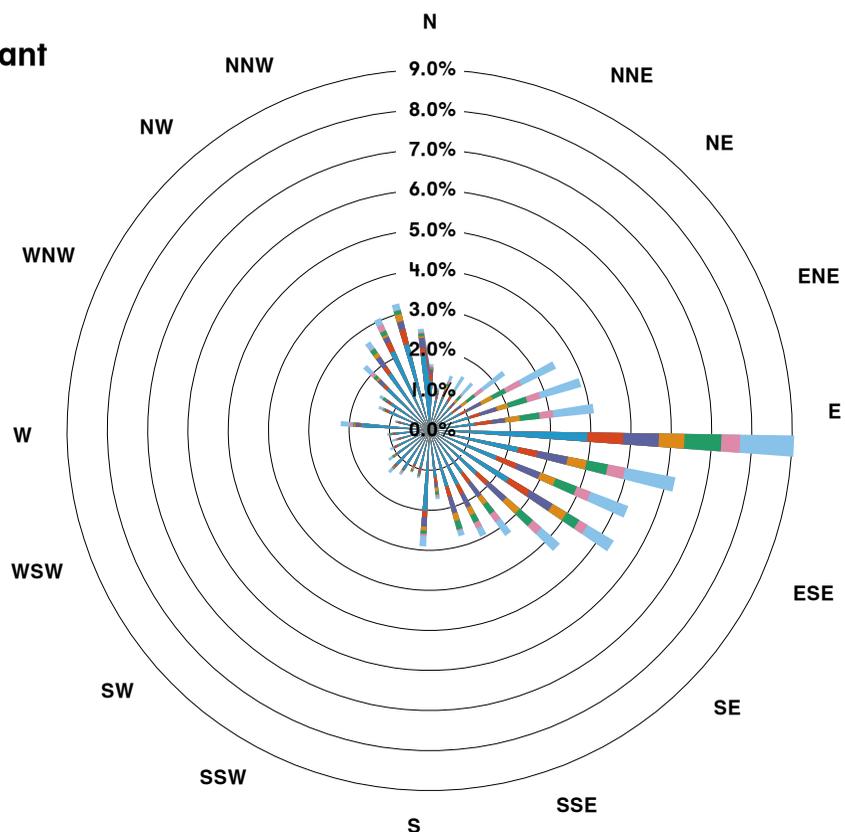


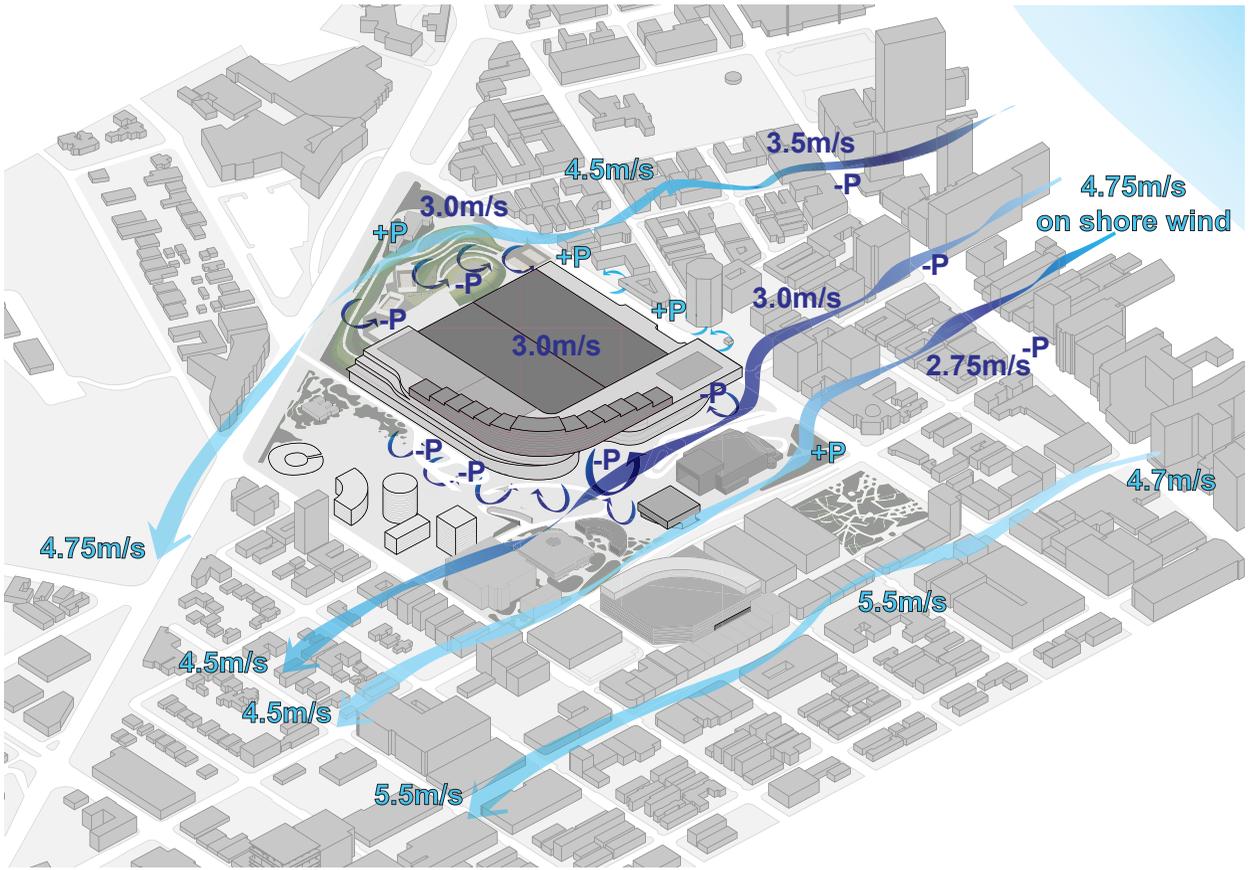
Energy Strategy

The convention center could potentially consume a significant amount of energy to make it a comfortable venue throughout the year. Our strategy is to work with the climate to develop a convention center with a low energy and carbon profile. We will do this considerably reducing the energy load and integrating renewable energy. Our approach is based on the following key strategies:

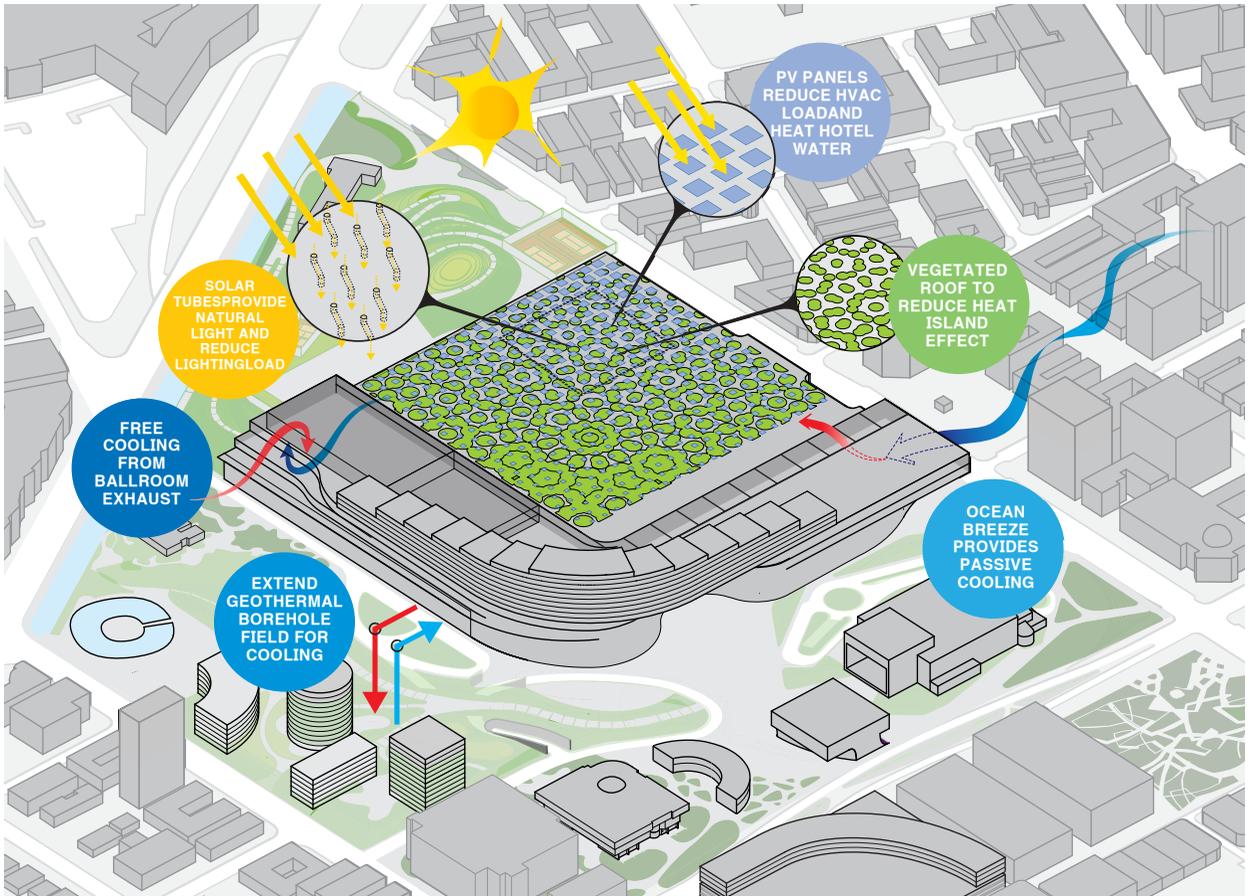
- Turning the concourse areas into transition zones so visitors move from fully conditioned exhibition halls to peripheral areas which are passively conditioned using the prevailing sea breeze, using natural daylight and sheltering the spaces from the intense sun
- the concourses will be passively ventilated by specifically designed louvers which capture the prevailing easterly onshore sea breeze to provide a cooling sensation to visitors. The heat within the concourse areas will then be ‘sucked out’ by ceiling exhausts which use the prevailing wind to ‘pull’ the hotter air out of through the roof
- The passively cooled concourse area will be augmented by additional ‘free’ cooling provided from the rejected conditioned air from the exhibition halls. The air temperature of this air will be lower than any outside air
- Cooling for the exhibition hall will be provided by the existing geothermal cooling system which will be expanded to provide more cooling. It will be supplemented by high performance chillers when it is particularly hot
- 80% of the hot water load will be provided by covering ~5% of the roof area with solar thermal tubes to provide an energy and carbon free resource
- The electrical ‘baseload’ of the convention center (when it is not hosting large events) will be generated by free renewable energy by installing PV on 20% of the roof area
- Daylight will be provided to the exhibition halls from solar light tubes to bring direct daylight into spaces reducing lighting and electricity loads

Miami Beach Predominant Wind Directions





Wind Direction



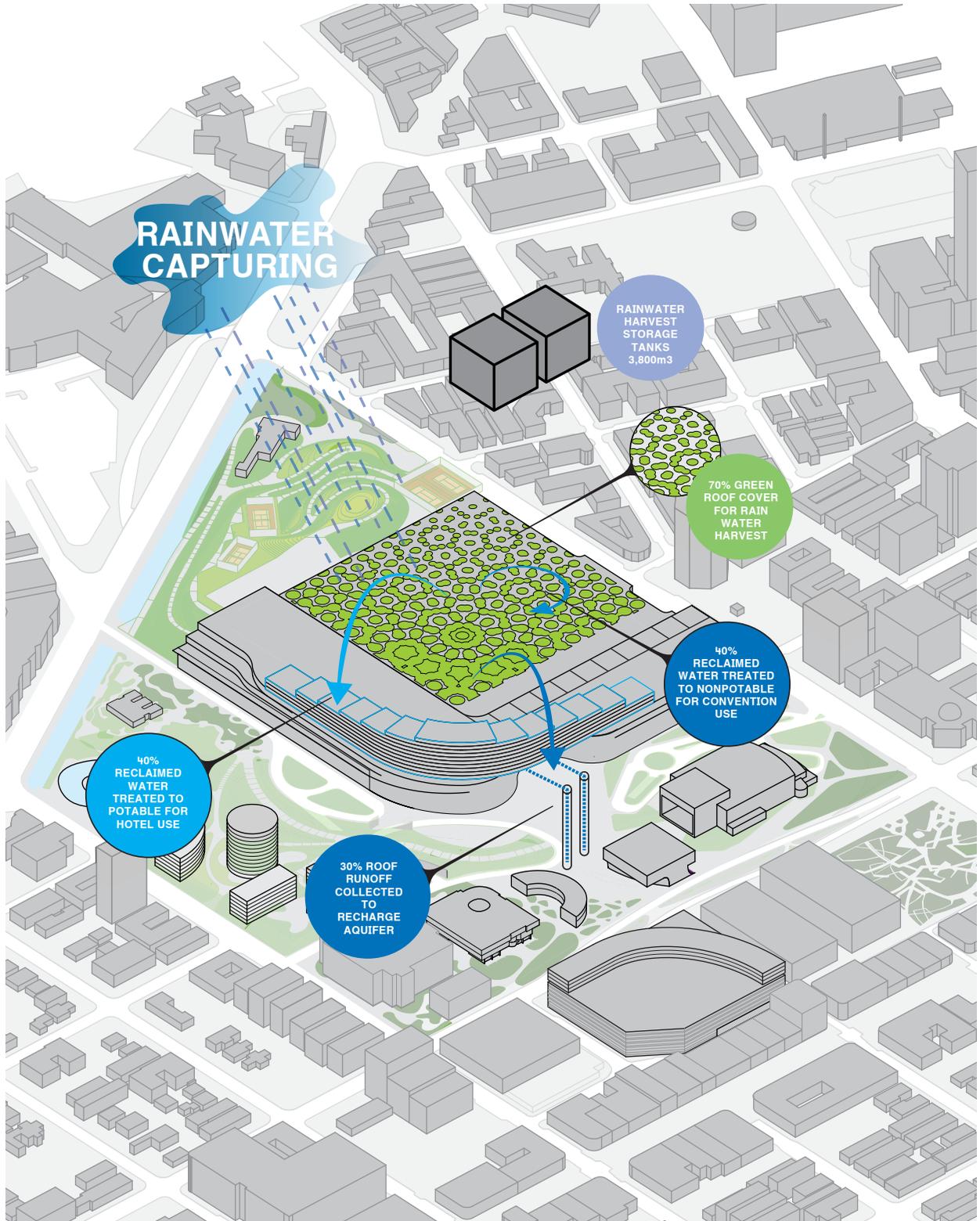
Energy strategies

Water Strategy

The water management plan for the Miami Convention Center incorporates rainwater harvesting with reclaimed wastewater treatment to meet 100% of the non-potable demand of the development.

Rainwater harvesting is carried out on 70% of the roof cover meeting the monthly irrigation demand year round, with surplus being stored in multiple storage tanks of approximately 3,800m³ volume total. The surplus rainwater captured from the roof areas will be used to replenish vital aquifers below the site through injection wells. This surplus includes storm events up to 100 year return periods.

The non-potable demand is met through a combination of rainwater harvesting from 70% of roofs and reclaiming 40% of wastewater. Potential treatment of reclaimed wastewater to potable standards would generate further reductions in the need for public water supply. A combination of conservation measures, water efficient design, rainwater harvesting and reclaimed water (non-potable only) would reduce total water design demand by approximately 56% from 241.7ML/yr to 134.86ML/yr.



Water strategies

Day in the Life





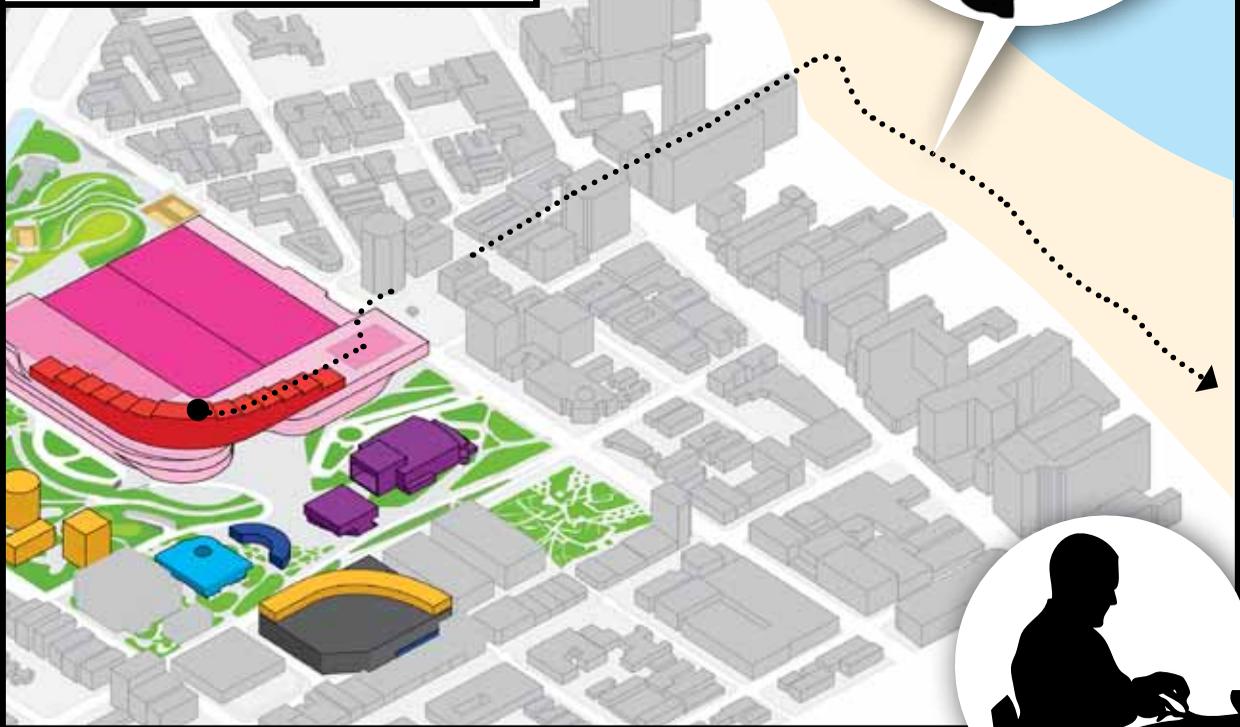
A day of the Convention Center Visitor

Visitors to the convention center will benefit from the tight integration of its various functions, but also from the new orientation to the south and the amenities that will surround the building. Their experience within the Convention Center will be more efficient, and more directly engaged with the City. Their life outside of the Convention Center will take them to the beach, to Lincoln Road and the rest of Miami Beach.



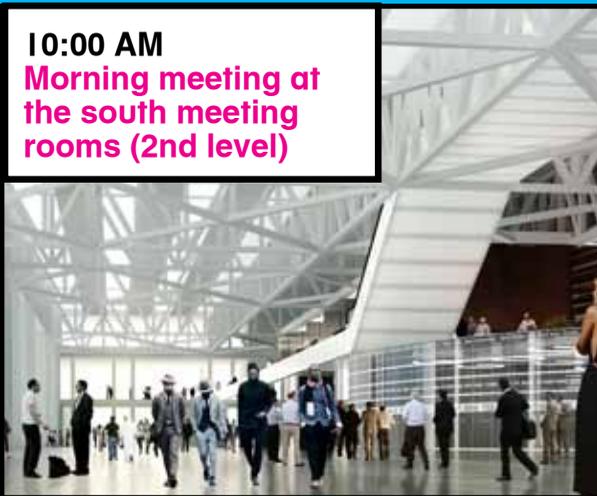
7:00 AM

Wake up and run on the beach



10:00 AM

Morning meeting at the south meeting rooms (2nd level)

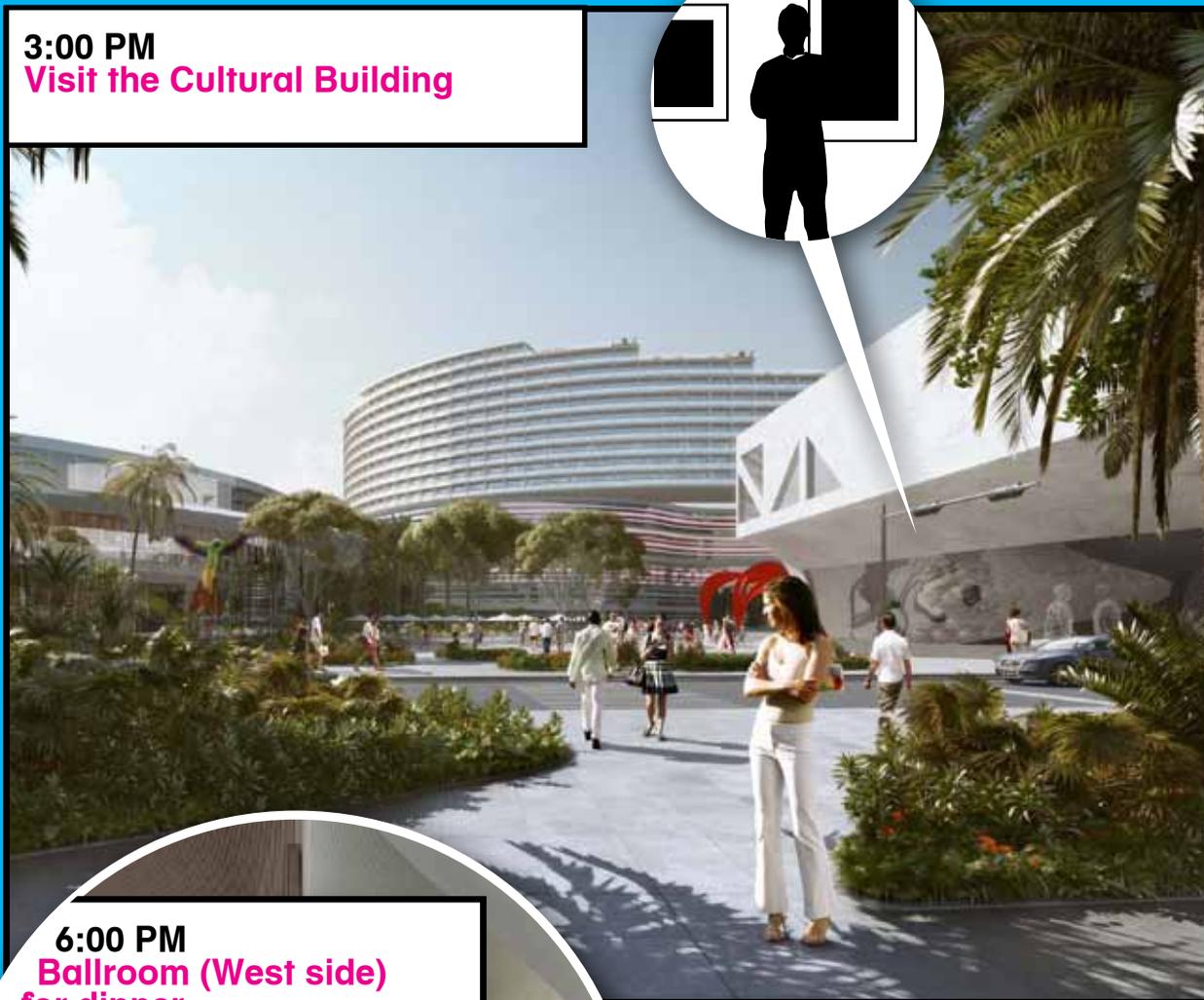


1:00 PM

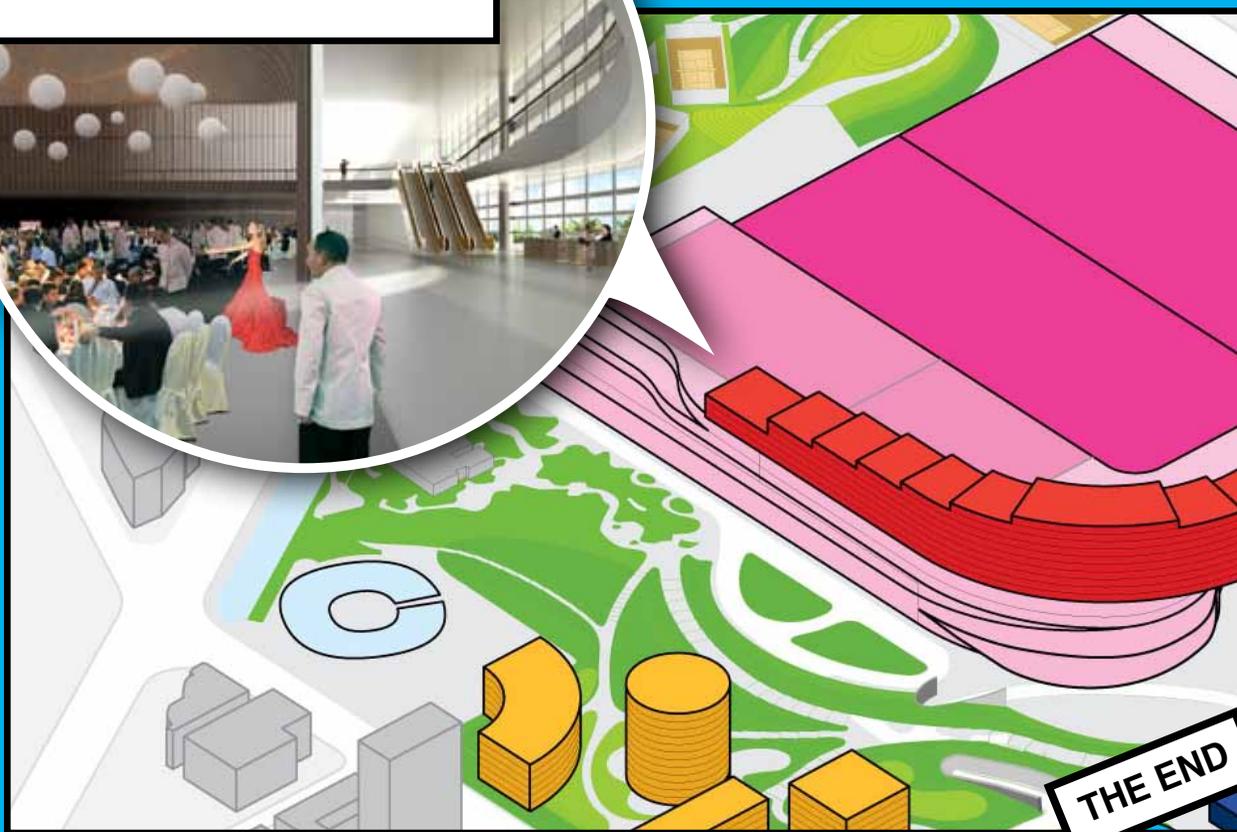
Lunch on Lincoln Rd



3:00 PM
Visit the Cultural Building



6:00 PM
Ballroom (West side)
for dinner



THE END



A day of the Miami Beach Local

The area around the Convention Center will no longer be a no-man's-land for local residents. They will be welcomed to the site by recreation areas and both renovated and new cultural facilities. The openness of the site will also provide new connections across the island and from north to south, linking Palm View, Bay Shore and Collins Park to Lincoln Road. Residents will discover an MBCC that is more walkable, more easily navigated by bicycle and a part of their daily lives.



7:00 AM

Wake up and go rock climbing at Fisher Fields



1:00 PM

Shopping on Lincoln Road



3:00 PM

Visit a friend from out-of-town at the Hotel.

9:00 PM

See a dance performance at the Jackie Gleason Theater



11:00 PM

Go out for a drink on Lincoln Road



THE END





Credits

Tishman Realty LP

Dan Tishman
John Vickers
David Rothenberg
Robert Snyder
Obaid Khan
Dave Bagwell
Paul Diamond
Charlie Cocotas
Ron Kollar
Pamela Friedlander
John Gallagher
Francisco Ramirez
Lauren Banks
Jane Batten
Geoff Fox
Zeke Faham
Josh Weissenstein
Andrew Quinn
Chris Bernot

UIA Management, LLC

Robert Wennett
Jeffrey Weinstein
Mary Jessica Woodrum

OMA

Rem Koolhaas
Shohei Shigematsu
Jason Long
Jake Forster
Lawrence Siu
Sandy Yum
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Ceren Bingol
Ishtiaq Rafiuddin
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Tiziana Tricarico
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Lea Delion

Dbox

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Danny Forster
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Sheena Garcia
Basak Tan
Ebru Pinar

Luxigon

Eric de Broche des Combes
Gagnon Nicolas

Studio Associates

Joseph Perilla

Tietz Bacon

Andrew Bacon

Model Center, Inc.

Bijan Fahimian

Schwartz Media

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Aaron Gordon
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Elizabeth Perez-Gurri